

# THE MEADOWS RAD RENOVATIONS

4855 PINTAIL CREEK DRIVE  
COLUMBUS, OH 43110

HUD PROJECT NO.  
OHFA PROJECT NO. 21-0228 BGF

<b>PROJECT ARCHITECT:</b>	MOODY NOLAN		
	SIGNATURE	TITLE	DATE
<b>OWNER / DEVELOPER:</b>	COLUMBUS METROPOLITAN HOUSING AUTHORITY		
	SIGNATURE	TITLE	DATE
<b>GENERAL CONTRACTOR:</b>			
	SIGNATURE	TITLE	DATE
<b>LENDER:</b>			
	SIGNATURE	TITLE	DATE
<b>BONDING COMPANY:</b>			
	SIGNATURE	TITLE	DATE

PREPARED FOR:



CMHA EXECUTIVE STAFF:

**CHARLES D. HILLMAN, PRESIDENT & CEO**  
**TOM WILLIAMSON, CFO**  
**SCOTT SCHARLACH, COO**  
**SCOTT W. AMMARELL, CPO**

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**D MALONE, COMMISSIONER**  
**JACQUELIN LEWIS, COMMISSIONER**  
**STEPHEN DALEY, COMMISSIONER**

PREPARED BY:



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## BID SET 05/12/2026



ABBREVIATIONS

SYMBOLS

Table with 2 columns: Symbol and Description. Includes symbols for AND ANGLE, NUMBER/POUND CENTERLINE, ANCHOR BOLT, AIR CONDITIONING, etc.

G

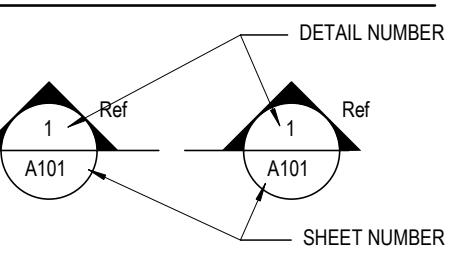
Table with 2 columns: Symbol and Description. Includes symbols for GAGE/GAUGE, GENERAL CONTRACTOR, GROUND FLOOR INTERRUPT, etc.

P

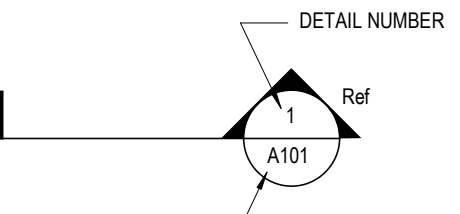
Table with 2 columns: Symbol and Description. Includes symbols for PRE-CAST REINFORCED PLATE, PLASTIC LAMINATE, PLASTIC PLUMBING, etc.

SYMBOLS LEGEND

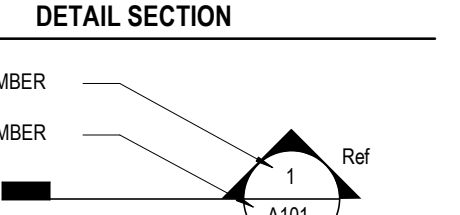
BUILDING SECTION



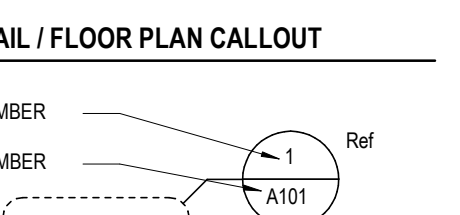
WALL SECTION



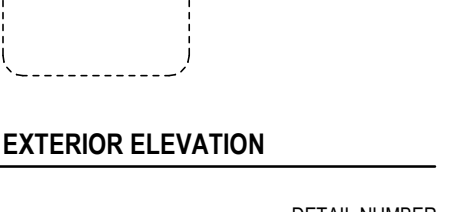
DETAIL SECTION



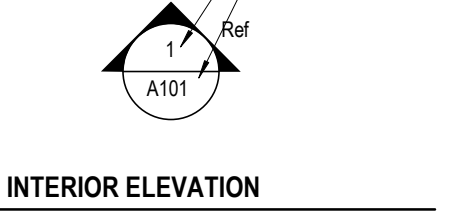
DETAIL / FLOOR PLAN CALLOUT



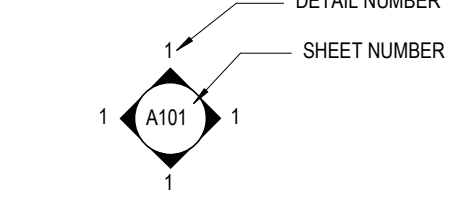
EXTERIOR ELEVATION



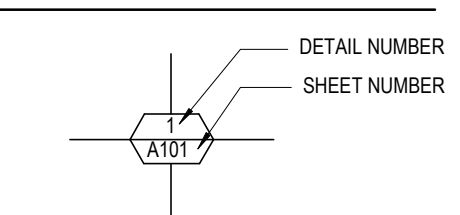
INTERIOR ELEVATION



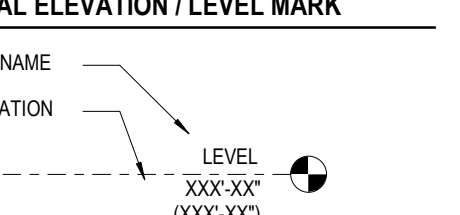
WINDOW / CURTAIN WALL ELEVATION



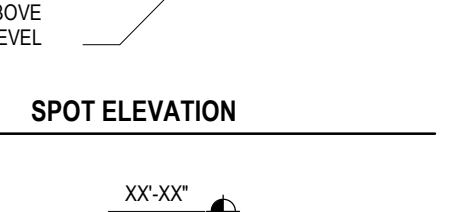
VERTICAL ELEVATION / LEVEL MARK



SPOT ELEVATION



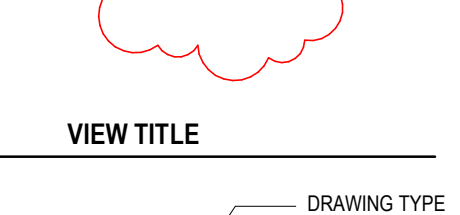
REVISION CLOUD & TAG



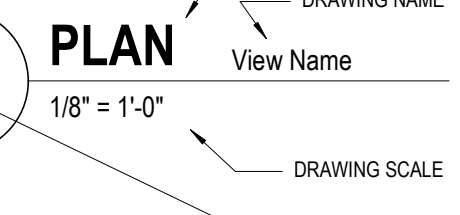
VIEW TITLE



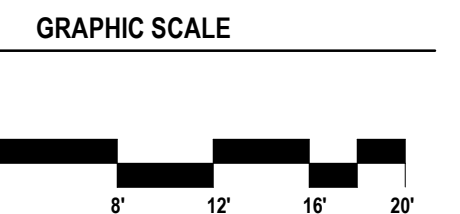
PLAN



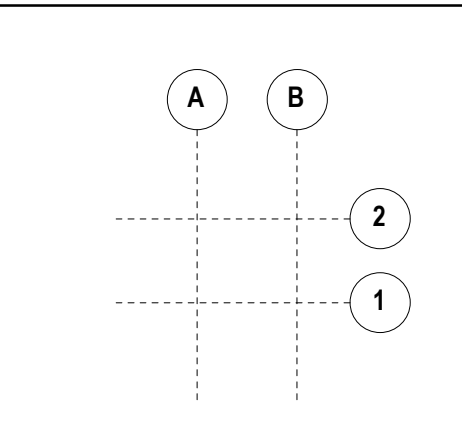
GRAPHIC SCALE



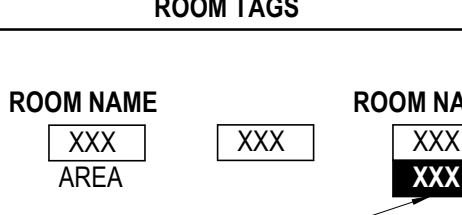
MATCHLINE / VIEW REFERENCE



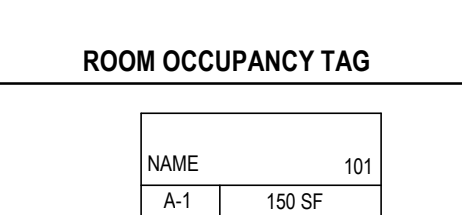
GRIDS HEADS / LINES



ROOM TAGS



ROOM OCCUPANCY TAG



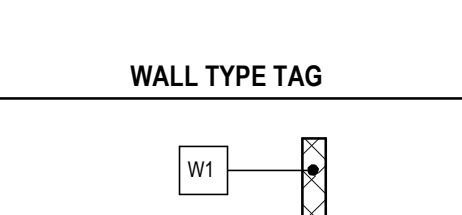
ROOM FINISH TAG



DOOR TYPE TAG



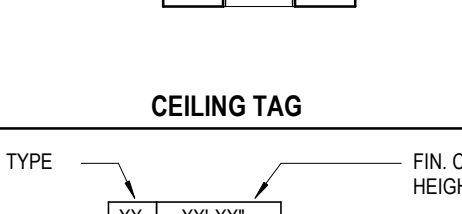
WALL TYPE TAG



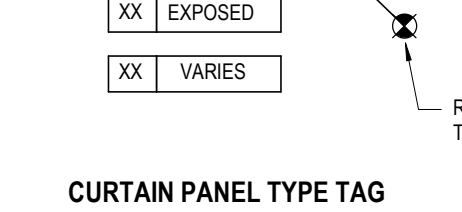
WINDOW TYPE TAG



CEILING TAG



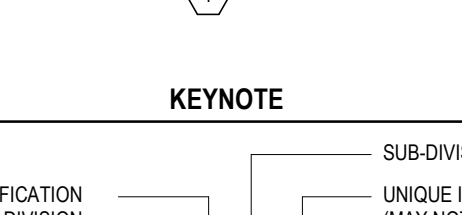
CURTAIN PANEL TYPE TAG



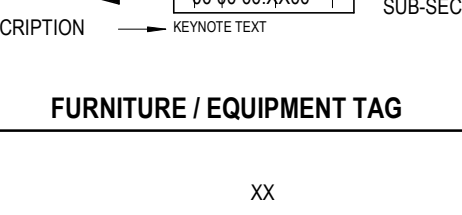
CODED NOTE / ACCESSORY TAG



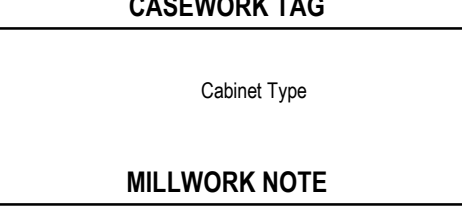
KEYNOTE



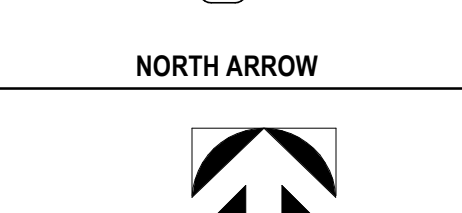
FURNITURE / EQUIPMENT TAG



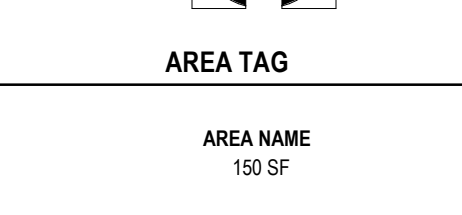
CASEWORK TAG



MILLWORK NOTE



NORTH ARROW



AREA TAG



CODE SUMMARY

OWNER: COLUMBUS METROPOLITAN HOUSING AUTHORITY
SITE ADDRESS: 4855 PINTAL CREEK DRIVE, COLUMBUS, OH 43211
BUILDING CODES: 2024 - BUILDING (ALTERATION LEVEL 2), OHIO MECHANICAL CODE: 2024, NATIONAL ELECTRICAL CODE: 2023, etc.

INDEX OF DRAWINGS

Table with 4 columns: SHEET NUMBER, SHEET NAME, SHEET ISSUE DATE, CURRENT REVISION DATE. Lists architectural, mechanical, and electrical drawings.

PROJECT SUMMARY

THE SCOPE OF WORK INCLUDES THE MODERATE RENOVATION OF 85 DWELLING UNITS AT THE MEADOWS COMMUNITY OWNED BY COLUMBUS METROPOLITAN HOUSING AUTHORITY. ALSO INCLUDE RENOVATION TO THE EXISTING COMMUNITY CENTER AT THE MEADOWS.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL AT NO TIME INCORPORATE ANY MATERIALS WHICH ARE COMPOSED OF OR CONTAIN ANY AMOUNTS OF ASBESTOS. THE SUBSTITUTION OF MATERIALS WHICH ARE COMPOSED OF OR CONTAIN ANY AMOUNTS OF ASBESTOS, WILL IN NO CIRCUMSTANCES BE ACCEPTABLE. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR AND PROJECT ARCHITECT SHALL SUBMIT WRITTEN STATEMENTS OF CERTIFICATIONS ASSERTING THAT NO ASBESTOS CONTAINING MATERIALS WERE USED IN ANY PORTION OF THE CONSTRUCTION.

COST CERTIFICATION

COST AUDITING WILL BE REQUIRED BY AN INDEPENDENT ACCOUNTANT SECURED AND PAID FOR BY THE CONTRACTOR AT THE COMPLETION OF THE PROJECT. THE COST OF THIS SERVICE SHOULD BE INCLUDED IN THE PROPOSAL UNDER GENERAL REQUIREMENTS, AND SHOULD ALSO BE IDENTIFIED UNDER GENERAL REQUIREMENTS.

GREEN CERTIFICATION

- 1. THE PROJECT WILL PURSUE ENTERPRISE GREEN COMMUNITIES (EGC) SUSTAINABILITY STANDARDS.

RADON MITIGATION

- 1. RADON MITIGATION SYSTEMS HAVE BEEN INSTALLED IN DWELLING UNITS AS PART OF A PREVIOUS PROJECT.

UNIVERSAL DESIGN FEATURES

THE RENOVATION SCOPE OF WORK INCLUDES INTERIOR UPDATES TO THE RESIDENTIAL UNITS, SITE UPGRADES, EXTERIOR REPAIRS, AND MEP UPGRADES. THE DESIGN OF INTERIOR AREAS TO BE RENOVATED WILL INCORPORATE PRINCIPLES OF UNIVERSAL DESIGN WHICH INCLUDE EQUITABLE USE, FLEXIBILITY IN USE, SIMPLE, INTUITIVE USE, PERCEPTIBLE INFORMATION AND ADEQUATE FORCE EFFORT, LOW PHYSICAL EFFORT, AND SAFE AND SPACIOUS APPROACH AND USE. THE INTENT IS TO IMPLEMENT UNIVERSAL DESIGN FEATURES IN THE PROJECT WHERE FEASIBLE IN THE PROPOSED WORK AND DOES NOT FULLY MEET THE CRITERIA OF UNIVERSAL DESIGN REQUIREMENTS AS THEY ARE EXISTING CONDITIONS AND IT MAY BE COSTLY AND IN SOME CASES NOT FEASIBLE TO IMPLEMENT IN THIS PROJECT. THE PROJECT IS TO INCORPORATE UNIVERSAL DESIGN FEATURES WHILE WORKING WITHIN THE CONSTRAINTS OF EXISTING BUILDING AND CONSTRUCTION.

PRINCIPLES OF UNIVERSAL DESIGN

- #1 EQUITABLE USE - THE EXISTING NON-ACCESSIBLE UNIT ENTRANCES HAVE AN ACCESS STEP AND A BATH THAT DOES NOT MEET VISIBILITY REQUIREMENTS. SOME UD FEATURES WILL BE IMPLEMENTED TO MAKE THE UNITS MORE USER FRIENDLY. PARKING WILL BE PROVIDED ALONG AN ACCESSIBLE ROUTE. ACCESSIBLE PARKING SPACES WILL BE LOCATED CLOSEST TO THE BUILDING ENTRANCES TO PROVIDE ACCESS TO THE ANSI TYPE A UNITS AND COMMUNITY CENTER. ANSI TYPE A UNITS WILL PROVIDE A NO-STEP ENTRY TO MEET VISIBILITY REQUIREMENTS.
#2 FLEXIBILITY IN USE - THE EXISTING RESIDENTIAL UNITS DO NOT INCLUDE EXISTING BLOCKING AROUND WATER CLOSETS OR TUBS FOR THE FUTURE INSTALLATION OF GRAB BARS. EXISTING UNITS DO PROVIDE AN OPEN FLOOR PLAN FOR EASY MANEUVERABILITY. WHERE NEW BATHING FIXTURES ARE INSTALLED, BLOCKING WILL BE PROVIDED FOR THE INSTALLATION OR FUTURE INSTALLATION OF GRAB BARS. WHERE NEW SHOWERS ARE INSTALLED IN ANSI TYPE A UNITS AND SEMI-AMBULATORY UNITS, BLOCKING WILL BE PROVIDED IN BOTH UNIT TYPES AND GRAB BARS WILL BE PROVIDED IN ANSI TYPE A UNITS.

- #3 SIMPLE, INTUITIVE USE - THE EXISTING LAYOUT OF THE UNITS IS EASY TO UNDERSTAND REGARDLESS OF THE USER'S EXPERIENCE, KNOWLEDGE, LANGUAGE SKILLS, OR CONCENTRATION LEVEL.
#4 PERCEPTIBLE INFORMATION - EXTERIOR AND INTERIOR ILLUMINATION HELP RESIDENTS AND GUESTS FEEL SECURE AND MOVE COMFORTABLY AROUND A ROOM. FLOORING AND FINISHES IN THE RESIDENTIAL UNITS WILL BE DESIGNED TO BE SLIP-RESISTANT. EASY-TO-READ MATERIALS WITH MINIMUM PATTERNS WILL BE SELECTED TO ACCOMMODATE THE SENSE OF PERCEPTION OF AGING PERSONS OR PERSONS WITH VISUAL IMPAIRMENTS.

- #5 TOLERANCE FOR ERROR - THE ROUTE AROUND THE BUILDING AND INTO UNITS ALLOWS GUESTS TO SAFELY ACCESS THE BUILDING/UNIT, PROTECTING FROM ACCIDENTAL TRIPPING/FALLING. MAIN EXTERIOR ENTRANCES ARE COVERED TO PROTECT RESIDENTS AND GUESTS FROM THE WEATHER. ILLUMINATION IS PROVIDED AT EXTERIOR DOORS FOR ADDED SECURITY AND SAFE EGRESS. AT BUILDING INTERIORS, MINIMAL TRANSITIONS BETWEEN FLOORING MATERIALS WILL BE INCORPORATED TO AVOID TRIPPING HAZARDS. SLIP-RESISTANT LVT OR SHEET VINYL FLOORING WILL BE LOCATED THROUGH UNITS.
#6 LOW PHYSICAL EFFORT - DOOR HARDWARE, PLUMBING, MECHANICAL AND ELECTRICAL CONTROLS ACCESSIBLE TO THE RESIDENTS WILL REQUIRE LOW EFFORT TO OPERATE. NEW DEVICES ADDED IN THIS PROJECT WILL BE LOCATED NO LESS THAN 18" (OUTLETS) A.F.F. AND NO HIGHER THAN 42" A.F.F.

- #7 SIZE AND SPACE FOR APPROACH AND USE - THE EXISTING MOBILITY (NON ANSI TYPE A) UNITS ARE IN GENERAL CONFORMANCE FOR MANEUVERABILITY. MINIMAL UPDATES WILL BE MADE WITHIN THE UNITS FOR ANSI TYPE A UNIT COMPLIANCE.

- SITE DESIGN:
- ALL COMMON OPEN SPACE AREAS WILL BE ON AN ACCESSIBLE ROUTE.
- ADEQUATE NON-GLARE LIGHTING AT ALL WALKWAYS, ACCESSIBLE ROUTES, AND EXTERIOR SPACES
- NON-SLIP SURFACES AT WALKWAYS.
- ANY NEW EXTERIOR SIGNAGE PROVIDED WILL BE EASY TO READ WITH HIGH CONTRAST LETTERS NUMBERS AND BACKGROUND.

- BUILDING ENTRY / RESIDENTIAL UNIT ENTRY
- MINIMUM 36-INCH WIDE DOOR AT THE BUILDING/UNIT ENTRY DOOR
- ENTRY DOOR WITH LEVER-STYLE DOOR HANDLE.
- AT PRIMARY ENTRY: MIN. CLEARANCES 6'-0" FOOT BY 5'-0" FOOT LEVEL, CLEAR FLOOR SPACE, INSIDE AND OUTSIDE ENTRY DOOR.
- ADEQUATE LIGHTING BOTH INSIDE AND OUTSIDE UNIT ENTRY DOORS AND ENTRYWAYS.
- HIGH VISIBILITY BUILDING UNIT ADDRESS NUMBERS/SIGNAGE WILL BE EASY TO READ WITH HIGH CONTRAST LETTERS/NUMBERS AND BACKGROUND.
- COVERHEAD WEATHER PROTECTION AT ENTRY (EXISTING)
- FLOORING MATERIALS WILL BE NON-SLIP ON WALKWAYS AND ENTRYWAYS (EXTERIOR WILL BE CONCRETE, INTERIOR WILL BE LVT).
- NON-SLIP SURFACES ON WALKWAYS AND ENTRYWAYS.
- NO STEP ENTRY (1/2-INCH OR LESS THRESHOLD) AT MAIN ENTRANCE (ANSI TYPE A UNITS & COMMUNITY CENTER).
- 1 LB. MAXIMUM FORCE TO OPEN DOORS ON ACCESSIBLE ROUTES, INCLUDING UNIT ENTRY DOORS AT ANSI TYPE A UNITS.
- ENTRY DOOR TO PROVIDE ACCESSIBLE DUAL PEEPHOLE AT ANSI TYPE A UNITS.

- INTERIOR STAIRS AND HALLWAYS
- MINIMUM 34-INCH WIDE DOORS LEADING TO HABITABLE ROOMS, ALLOWING FOR A 32" MINIMUM CLEARANCE AT ALL ANSI TYPE A UNITS.
- INTERIOR MAXIMUM DOOR THRESHOLD OF 1/4-INCH BEVELED OR FLUSH WHERE NEW DOORS ARE PROVIDED.
- COMPLIANT THRESHOLDS WILL BE PROVIDED AT ANSI TYPE A UNITS.

- FAUCETS
- ANTI-SCALD FAUCETS WITH LEVER HANDLE FOR ALL SINKS, BATHUBS, AND SHOWERS.
- PRESSURE BALANCED FAUCETS.
- CLEAR KNEE SPACE.
- 3-INCH MAX. A.F.F. LAV (TO SINK/RIM) AND COUNTER HEIGHT.
- AT ALL UNITS PROVIDE:
- NON-SLIP FLOORING.
- LOOP HANDLE PULLS ON VANITY, FOR EASY OPERATION AND LOW EFFORT.
- 3/4-INCH MAX. A.F.F. LAV (TO SINK/RIM) AND COUNTER HEIGHT.
- COLOR CONTRAST BETWEEN FLOOR, COUNTERTOP AND CABINET FACES.
- ADJUSTABLE-HEIGHT SHOWERHEAD OR HAND-HELD SHOWERHEAD WITH FLEXIBLE HOSE AND EASILY OPERABLE CONTROLS.

- KITCHENS
- RECESSED TASK LIGHTING AT SINK, STOVE, AND WORK AREAS.
- SINGLE LEVER TYPE FAUCETS WITH PRESSURE BALANCED ANTI-SCALD VALVE.
- COUNTERTOP WITH BEVELED ROUNDED CORNERS, OUTSIDE CORNERS ARE TO BE MIN. 2-INCH CORNER RADIUS, WATERFALL EDGE WITH 1-INCH RADIUS, OR 2-INCH CHAMFER.
- MINIMUM KITCHEN FLOOR CLEARANCES
- VISUAL CONTRAST AT FRONT EDGE OF COUNTERTOP OR BETWEEN THE COUNTERTOP AND CABINETS.
- AT ANSI TYPE A UNITS AND PUBLIC AREAS:
- COUNTERTOP RANGE WITH FRONT-MOUNTED CONTROLS.
- CLEAR KNEE SPACE (MIN. 27-IN. HIGH) UNDER SINK AND WORK SPACE UNDER COUNTERS WITH PIPE PROTECTION, NOT WITHIN CLEAR KNEE SPACE.
- 3-INCH MAX. A.F.F. LAV (TO SINK/RIM) AND COUNTER HEIGHT.
- AT ALL UNITS PROVIDE:
- NON-SLIP FLOORING.
- LOOP HANDLE PULLS ON DRAWERS AND CABINETS, ALLOWING FOR EASY OPERATION AND LOW EFFORT.
- BASE CABINETS WITH FULL-OUT DRAWERS, WHERE SHOWN.

- CLOSET/STORAGE
- DOORS AND HANDLE PULLS THAT ARE EASY TO OPERATE, NO 8IF-DOLL OR ACCORDION-TYPE DOORS.
- EXCEPTION REQUESTS FOR MANDATORY UNIVERSAL DESIGN FEATURES HAVE BEEN SUBMITTED TO OHFA AS PART OF THE SUBMISSION.

ACCESSIBILITY

- 1. FIVE PERCENT OF THE TOTAL NUMBER OF UNITS WITHIN THE COMMUNITY (5 UNITS) WILL BE ANSI TYPE A UNITS. ANSI TYPE A UNITS WILL ALSO INCLUDE SENSORY (HEARING/VISUALLY IMPAIRED) UNIT FEATURES. THESE UNITS ARE EXISTING ACCESSIBLE UNITS AND WILL REMAIN ACCESSIBLE. REFER TO SITE PLAN FOR LOCATIONS.
2. FIVE PERCENT OF THE TOTAL NUMBER OF UNITS WITHIN THE COMMUNITY (5 UNITS) WILL BE SEMI-AMBULATORY UNITS. REFER TO SITE PLAN FOR LOCATIONS AND ENLARGED PLANS FOR SCOPE OF WORK IN THESE UNITS.
3. TWO PERCENT OF THE TOTAL NUMBER OF UNITS WITHIN THE COMMUNITY (2 UNITS) WILL BE DESIGNATED AS SENSOY (HEARING/VISUALLY IMPAIRED) UNITS. REFER TO SITE PLAN FOR LOCATIONS. ANSI TYPE A UNITS WILL ALSO INCLUDE SENSORY (HEARING/VISUALLY IMPAIRED) UNIT FEATURES.
4. WITH THE EXCEPTION OF THE ANSI TYPE A UNITS, ALL RESIDENTIAL UNITS ARE TOWNHOUSE UNITS WITH STEPPED ENTRIES AT THE FRONT AND REAR DOORS. NONE OF THESE UNITS ARE DESIGNATED AS "ANSI TYPE A".

NOTE: WHEN A CONFLICT EXISTS BETWEEN APPLICABLE ACCESSIBILITY CODES, STANDARDS AND GUIDELINES, THE CODES, STANDARDS AND GUIDELINES PROVIDING THE GREATER DEGREE OF ACCESSIBILITY TAKE PRECEDENCE. THE PROJECT WILL ALSO MEET OR EXCEED LPAS STANDARDS.

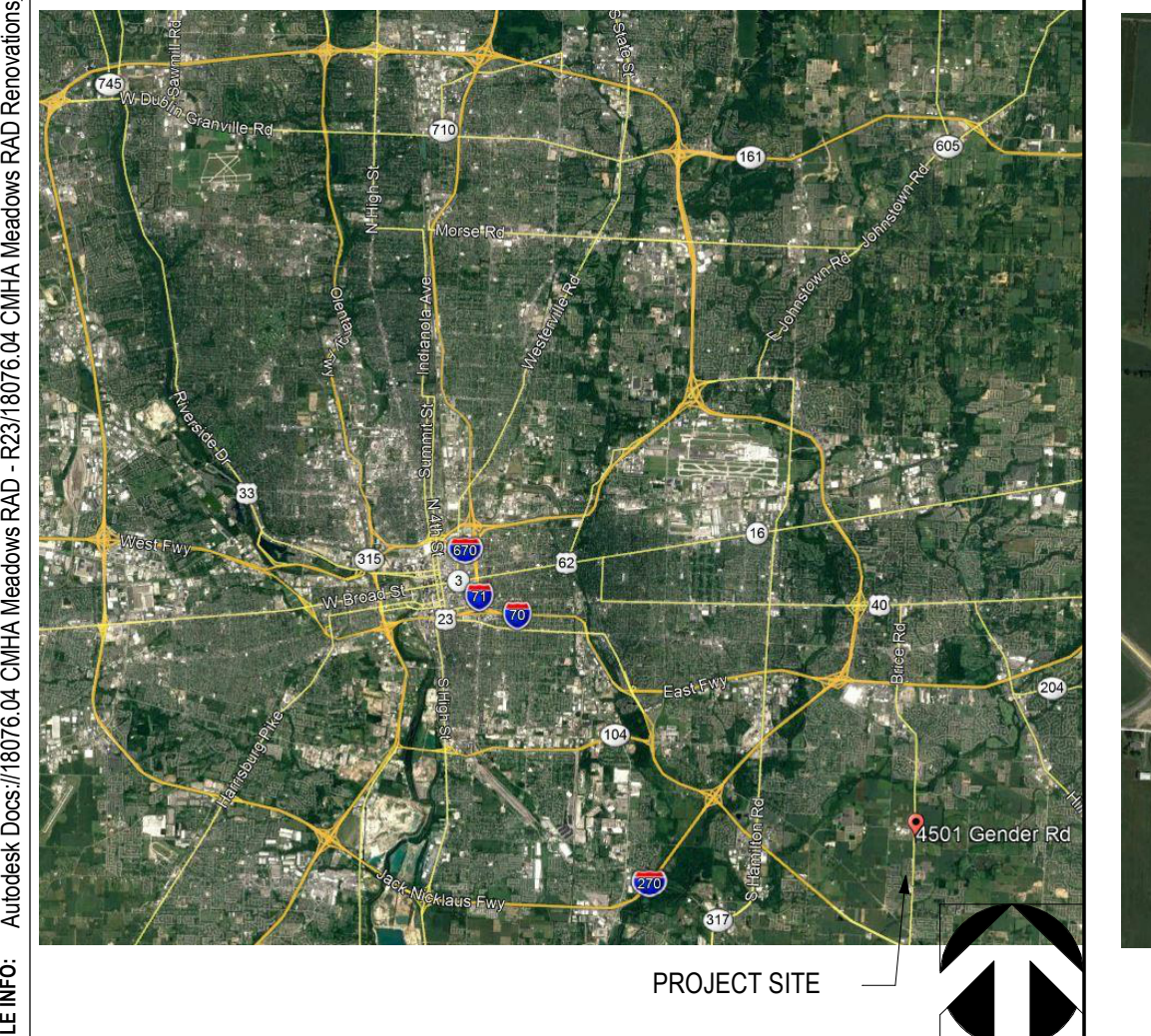
WALL TYPE SCHEDULE

Table with 3 columns: ASSEMBLY DESCRIPTION, R/C RFG, FINISH THICKNESS. Lists wall assemblies for different areas.

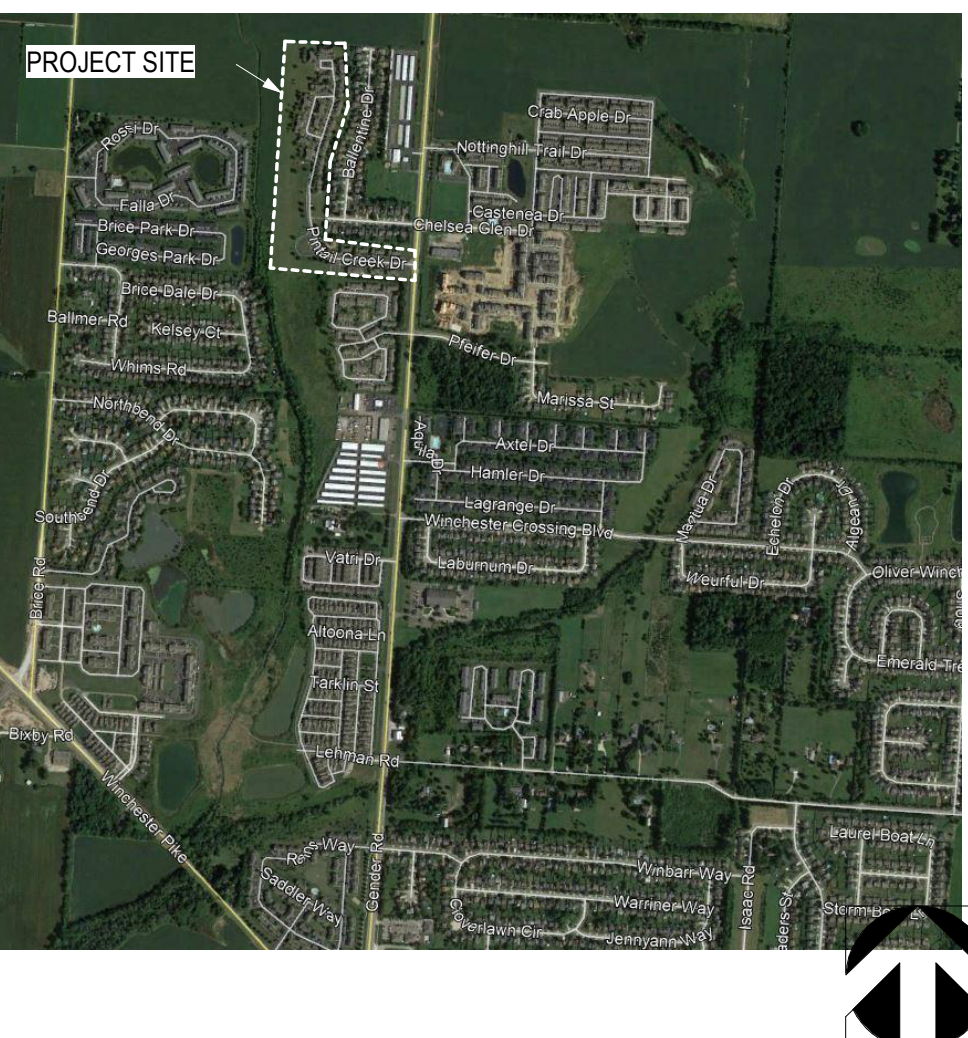
GENERAL NOTES - WALL TYPE

- 1. ALL DIMENSIONS TO FACE OF WALL UNL. O.
2. USE 8" WATER RESISTANT GYP. BD. ON ALL WET WALLS, UNO.
3. USE GEMENT BOARD FOR ALL WALLS TO RECEIVE CERAMIC TILE UNO.
4. FIRE SAFE ALL JOINTS AND PENETRATIONS AT FIRE RATED PARTITIONS.
5. UNL. NUMBERS LISTED APPLY ONLY TO THE TESTED MANUFACTURERS. EQUAL MANUFACTURERS EQUIVALENT ASSEMBLY INFORMATION MUST BE APPROVED BY ARCHITECT.
6. INSULATION MUST EXTEND FULL HEIGHT OF PARTITION, WHERE SOUND ATTENUATION BATT IS INDICATED IN PARTITIONS. INSTALL ACOUSTIC SEALANT AT BOTH SIDES, ALONG THE TOP AND BOTTOM, AND AT INTERSECTING PARTITIONS.
7. WHERE 3 5/8", 4" OR 6" STUD WALLS ARE INDICATED, SEE SPECIFICATIONS FOR HEIGHT LIMITS.

AREA MAP



VICINITY MAP



MATERIALS LEGEND

Table with 2 columns: Material Name and Symbol. Lists materials like Aluminum, Acoustic Ceiling, Brick, Concrete, etc.



300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO. FIRM 00197475

MOODY NOLAN DRAWING INDEX

Table with 2 columns: DRAWN BY, CHECKED BY. Lists drawing information for sheet G001.

G001

BID SET

COMMUNITY INFORMATION table with columns for Community Name, Address, Telephone, Fax, HUD ID Code, and Apartment Style.

SITE INFORMATION table with columns for Parcels, No. of Parcels, Total Acreage, and Parcel No.

SITE INFORMATION table with columns for Street Name & Ownership, No. of Playground Area(s), and Street Name & Ownership.

BUILDING INFORMATION table with columns for Residential Buildings, Foundation Type, Roof Type, and Non-Residential buildings.

UNIT INFORMATION table with columns for Total No. of Units, Two-Bedroom, Three-Bedroom, and Four-Bedroom with Garage.

PARKING INFORMATION table with columns for Total Parking Spaces, No. of H.C. Parking Spaces, and Typical Parking Spaces.

DENSITY INFORMATION table with columns for Unit Density and Parking Density.

BUILDING INFORMATION table with columns for Bldg Type, Unit Compositions, Area: GSF to Exterior Face of Exterior Wall, and Area: GSF to Exterior Face of Exterior Sheathing.

UNIT INFORMATION table with columns for Unit Type, Unit Description, Unit Designation, Total No. of Units, Living Space per Unit Average (GSF), Total Living Space - Average (GSF), Hot Water Heater, Furnace Type, Stove Type, and Master Metered G/E/NONE.

BUILDING ADDRESS table with columns for Building No., Building Type, Unit Type, and Address.

BUILDING ADDRESS table with columns for Building No., Building Type, Unit Type, and Address.

BUILDING ADDRESS table with columns for Building No., Building Type, Unit Type, and Address.

BUILDING ADDRESS table with columns for Building No., Building Type, Unit Type, and Address.

\* DENOTES ANSI TYPE A UNIT WITH SENSORY (HEARING) / VISUALLY IMPAIRED UNIT FEATURES IS TOTAL
\*\* DENOTES SENSORY (HEARING) / VISUALLY IMPAIRED UNIT (2 TOTAL)
\*\*\* DENOTES SEMI-AMBULATORY UNIT (2 TOTAL)

Change Description table with columns for #, Date, and Change Description.

THE MEADOWS RAD RENOVATIONS logo and contact information for Columbus Metropolitan Housing Authority.

Moody Nolan logo and contact information for the architect.

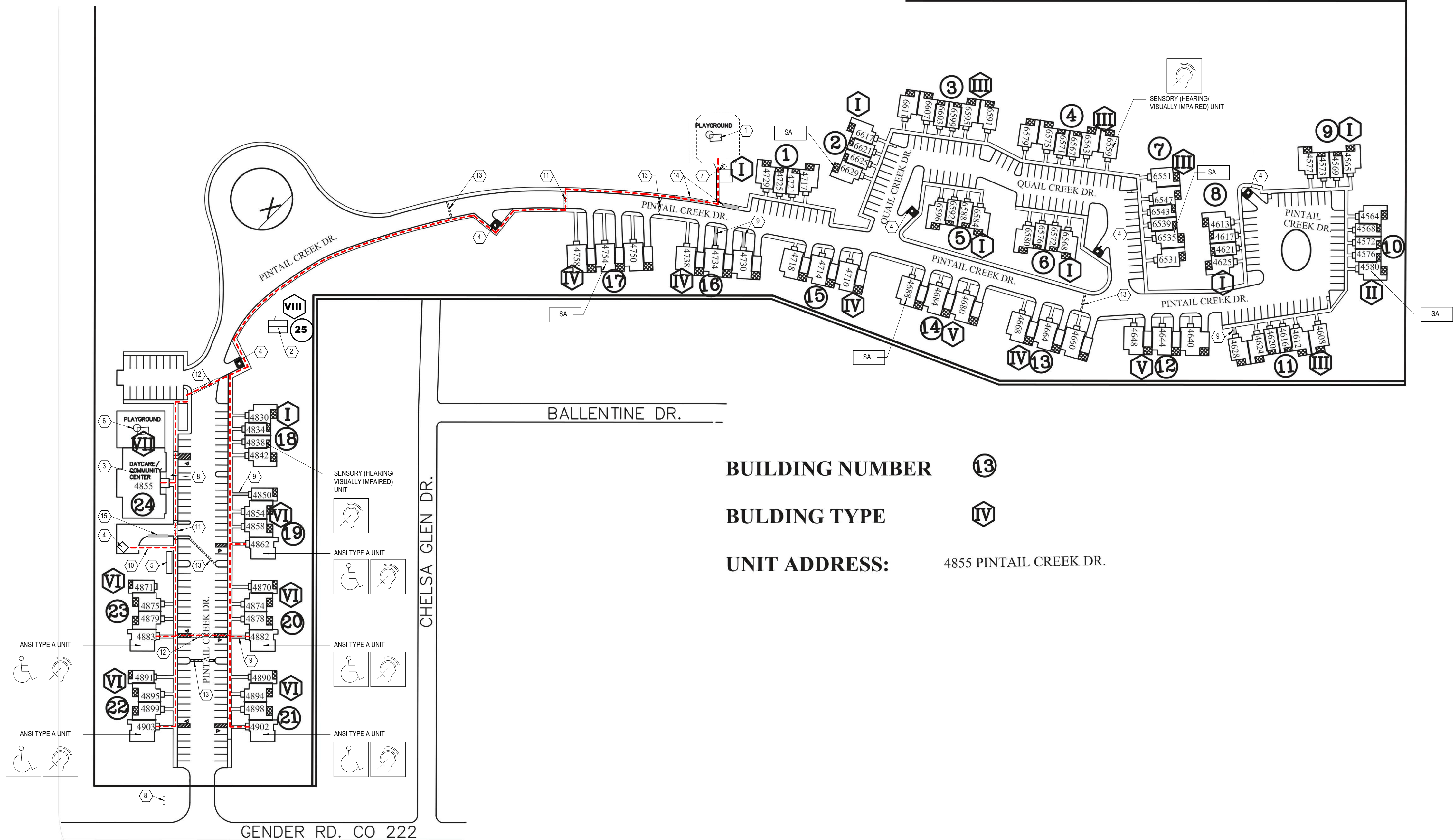
BUILDING INFORMATION

Professional seal for Jay W. Boone, Registered Architect, State of Ohio, License No. 10740. Includes drawing title, date, and scale G002.



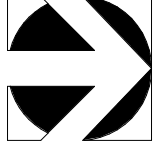
NOTE: EXISTING LANDSCAPE PLAN IS SHOWN FOR REFERENCE ONLY. THE PROPOSED WORK DOES NOT ADD OR DELETE ANY LANDSCAPE OR LANDSCAPE ELEMENTS. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

**2 PLAN** LANDSCAPE PLAN  
N.T.S.



**BUILDING NUMBER** 13  
**BULDING TYPE** IV  
**UNIT ADDRESS:** 4855 PINTAIL CREEK DR.

**1 PLAN** SITE PLAN  
N.T.S.



- GENERAL NOTES - SITE PLAN**
- A. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
  - B. FIELD VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS BEFORE PROCEEDING WITH WORK.
  - C. EXISTING TREES (NOT SHOWN ON SITE PLAN) ARE TO BE MAINTAINED.
  - D. ALL DEFECTIVE CONCRETE WALKS, SIDEWALKS, AND CURBS AT SITE SHALL BE REPLACED WHERE NOTED ON SITE PLAN. CONCRETE IN THE RIGHT-OF-WAY SHALL BE REPLACED WHERE NOTED. CONCRETE IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF COLUMBUS SPECIFICATIONS. CONTACT THE TRANSPORTATION DIVISION, CITY OF COLUMBUS @ 614-461-4674 FOR INSPECTION.
  - E. THE METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF COLUMBUS CONSTRUCTION AND MATERIALS SPECIFICATIONS AND THE CITY OF COLUMBUS RULES AND REGULATIONS FOR MAKING OPENINGS IN THE PUBLIC WAY.
  - F. ALL MAINTENANCE OF TRAFFIC IN ASSOCIATION WITH THIS PROJECT SHALL BE IN CONFORMANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THAT APPROPRIATE PERMITS SHALL BE OBTAINED FOR ANY LANE CLOSURES OR SIDEWALK CLOSURES.
  - G. RESEED ALL FRONT YARDS, SIDE YARDS FACING STREETS, AND ALL GRASS AREAS DISRUPTED BY ANY AND ALL CONSTRUCTION.
  - H. ALL DISTURBED EXISTING LANDSCAPE AREAS SHOULD BE RE-SEED WITH NATIVE GRASS/COVER PLANTS AND MULCH.
  - I. MULCH OVERLAY ASPHALT DRIVE AND PARKING AREAS AND RESTRIPE THE PARKING STALLS. SEAL COAT DRIVEWAYS TO RESIDENTIAL GARAGES.
  - J. CONNECT DOWNPOUTS AT THE FRONT OF THE RESIDENTIAL BUILDINGS TO A NEW UNDERGROUND DRAINAGE SYSTEM, DRAINING TO THE UNDERGROUND SYSTEM TO CURB BY GOING UNDER THROUGH SIDEWALKS WITH NEW FLASH BLOCKS AT ALL OTHER LOCATIONS.
  - K. ANY NEW EXTERIOR SITE BUILDING SIGNAGE WILL BE EASY TO READ WITH HIGH CONTRAST LETTERS/NUMBERS AND BACKGROUND.

- CODED NOTES - SITE PLAN**
- 1. EXISTING PLAY AREA TO BE REVISED. REMOVE EXISTING FENCING & MULCH AT PLAY AREA. EXPAND PLAY AREA TO ACCOMMODATE NEW EQUIPMENT, ONE ADDITIONAL PLAYGROUND EQUIPMENT SET, AND FOUR (4) PLAY SURFACE AREA.
  - 2. EXISTING MAINTENANCE BUILDING
  - 3. EXISTING COMMUNITY CENTER
  - 4. EXISTING DUMPSTER TYP
  - 5. EXISTING MAIL KIOSK LOCATION TO REMAIN (86 POST AND 12 PARCEL BOXES). PATCH AND REPAIR ANY DAMAGE TO CONCRETE SIDEWALK AS REQUIRED TO MAINTAIN PROPER ACCESSIBILITY CLEARANCES.
  - 6. EXISTING PLAYGROUND AT EARLY LEARNING CENTER NOT IN CONTRACT.
  - 7. NEW TRASH RECEPTACLE AT PLAY AREA. RECEPTACLE TO MATCH ADJACENT BENCH SEATING. VERIFY FINAL LOCATION WITH OWNER. SEE SHEETS.
  - 8. EXISTING SIGNAGE TO REMAIN.
  - 9. REPAIR CONCRETE SIDEWALK APPROACH TO FRONT DOOR AT UNITS #4628, 4720, 4724, 4800, 4802.
  - 10. NEW CONCRETE WALK TO DUMPSTER. MAINTAIN PROPER ACCESSIBILITY CLEARANCES AS REQUIRED.
  - 11. NEW CONCRETE SIDEWALK, RAMP AND APPROACH CROSSOVER STRIPES ON ACCESSIBLE ROUTE. REPLACED SIDEWALK ALONG ACCESSIBLE ROUTE TO BE MIN. 3'-0" WIDE. ADD CURB RAMPS ALONG ACCESSIBLE ROUTE AS SHOWN ON CIVIL DRAWINGS.
  - 12. NEW CROSSOVER STRIPES ON ACCESSIBLE ROUTE.
  - 13. REPAIR AND PAINT EXISTING SPEED BUMPS.
  - 14. REPLACE CONCRETE SIDEWALK (8 PANELS).
  - 15. REPLACE APPROXIMATELY 25 FEET OF CONCRETE CURB. FIELD VERIFY EXACT EXTENTS.

**SITE PLAN LEGEND**

- CONCRETE SIDEWALK OR CURB - SEE CODED NOTES FOR ADDITIONAL INFORMATION
- NEW CROSSOVER STRIPES ON ACCESSIBLE ROUTE
- EXISTING SPEED BUMP TO BE REPAIRED AND PAINTED
- ANSI TYPE A UNIT (I TOTAL) - SEE BUILDING TYPE VI OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION. ANSI TYPE A UNITS TO ALSO PROVIDE SENSORY UNIT FEATURES.
- SENSORY (HEARING/ VISUALLY IMPAIRED) UNIT (2 TOTAL) - SEE BUILDING TYPES I AND II OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION. ANSI TYPE A UNITS TO ALSO PROVIDE SENSORY UNIT FEATURES.
- SEMI-AMBULATORY (SA) UNIT (5 TOTAL) - SEE BUILDING TYPES I TO V OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION.
- SA - SITE ACCESSIBLE ROUTE
- PERIMETER FENCING TO BE REMOVED AT CHILDREN'S PLAY AREA

#	DATE	CHANGE DESCRIPTION

**THE MEADOWS RAD RENOVATIONS**  
COLUMBUS METROPOLITAN HOUSING AUTHORITY  
COMMUNITY. COMMUNITY. COLLABORATION.

4855 PINTAIL CREEK DRIVE  
COLUMBUS, OH 43110  
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881  
CERTIFICATE NO: FIRM 00197475

**Moody Nolan**

**SITE INFORMATION**

05/12/2026  
DRAWN BY: xxx CHECKED BY: xxx  
18076.04  
**G003**  
BID SET

JAY W. BOONE, LIC # 10740  
EXP. DATE: 12/31/2027

INSTRUCTIONS

- 1. The architectural entity with whom the owner and developer contracted to provide architectural services will complete the form and obtain all required signatures for the certification.
2. The project applicant will submit the completed and signed form with the proposal application.
3. If funded, the project applicant will complete and submit the form again at final application with all changes from what was submitted at proposal application clearly identified.
4. A copy of the final, completed form must also be included in the 80% percent plan sets, copied onto the page(s) following the cover sheet, submitted with final application.

All communications related to the architectural review, including submission of architectural plans, must be sent to the address below:

- Helpful links:
2021 Design and Architectural Standards
2021 Exception Request Form
2021 Building Division List
2021 Multifamily Inspection Guidelines
2021 Building Division List of Codes

SUBMISSION REQUIREMENTS

- Preliminary Architectural Submission
At minimum, the proposal application architectural submission must include all of the following:
This form, completed and signed
Note: This form takes the place of the ODFA Lab and Construction Certification tab that were previously part of the AHFA/GFA.
Exception Request forms, if applicable.
Preliminary drawings, which shall include all of the following:
Cover sheet with name of development as submitted to ODFA, development address, development team, drawing title, code information, and table indicating unit schedule including accessible, adaptable and sensory impaired units, types and sizes;
Site plan, including parking areas and layouts;
Landscape plan;
Dimensional floor plans with gross area of units and floor plans, as well as room designations and proposed finishes;
Exterior elevations with material notations;
Typical wall sections (new construction only); and
Schematic Drawings and/or schematic specifications for HVAC, plumbing, and electrical or similar items included in the scope of work.

NAME OF PROPOSED DEVELOPMENT: The Meadows RAD Renovations
ADDRESS OF PROPOSED DEVELOPMENT: 4885 Pin Oak Drive, Columbus, OH 43215

- Preliminary drawings, described above, shall be submitted in all of the following formats:
Electronic format (pdf)
Single PDF file for all drawings submitted above
Separate, single PDF for specifications
Hard copy
Full set of architectural plans, 11"x17" scaled to fit. Full size plans will not be accepted.

Upon request only, preliminary drawings shall be submitted in DWF R-2017 format or DWG AutoCAD 2017 format.

Final Architectural Submission

- Final applications must include 80 percent complete permit sets, including final plans for all trades. Unless approved by ODFA, the plans must include the project name as submitted with the proposal application and ODFA tracking number. The submission must also conform to the preliminary submitted, including the information included within this form. Substantive changes of any items that would affect competitive scoring will not be accepted.
At minimum, the final application architectural submission must include all of the following:
This form, completed and signed. Information included in this document must be updated as needed from the proposal application submission, and shall match the information in the 80% plans.
Note: This form takes the place of the ODFA Lab and Construction Certification tabs that were previously part of the AHFA/GFA.
Verification that the drawings comply with all accessibility, energy efficiency, universal design, and/or green building requirements required for the development or committed to in the application for funding.
Address, mark, notes, and lead based paint considerations as required.
Items required to be completed per Phase I of Environmental Site Assessment, or per applicable Environmental Review performed by ODFA's environmental consultant.
Plan sets, which shall include all of the following:
Site plans
Interior and Exterior elevations
Dimensioned floor plans
Wall sections (if applicable)
Structures (if applicable)
Finishes
Details
Mechanical plans
Drawings must have a dimensioned plumbing plan and control points located for rough in site verification. All pipes throughout the walls they are intended to be located within must be dimensioned relative to the foundation where they must align with walls and/or islands above. (New construction and adaptive reuse only)
ODFA strongly encourages a surveyor to locate wall and through-pipe penetrations. Foundation pour/dig must be filled with insulation or forms and then back filled per geotechnical reports.

- Plan sets, described above, shall be submitted in all of the following formats:
Electronic format (pdf)
Separate, single PDF files for drawings including all site plans, dimensional floor plans, elevations, wall sections, structures, finishes, details and mechanical plans.
Separate, single PDF file for specifications.
Electronic format (AutoCAD)
Dimensioned floor plans only submitted in DWF or DWG AutoCAD R-2017 format.
It is preferred that the project architect's preliminary area lines be included.
If drawings are externally referenced (xref), submissions must be bound (xref) prior to creating files for ODFA.
Proprietary authority information such as title blocks, Architecture walls, etc. should be removed.
DWF should be generated from the base file and not a plan sheet file.

FORM SECTIONS
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C. DEVELOPMENT DETAILS ..... 4
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A. DEVELOPMENT INFORMATION
a. Development Name: The Meadows RAD Renovations
b. ODFA Tracking Number (final application only):
c. Address: 4885 Pin Oak Drive, Columbus, OH 43215
d. City: Columbus
e. Zip Code: 43215
f. Competitive Pool: Preserved Attractibility; HUD Subsidy Preservation
g. Population Served: Families
h. Construction Type: Rehabilitation
i. Wage Rate Requirements: If federal or state funds are utilized in the proposed development, select any regulations that apply to the proposed development.
j. Davis-Bacon and related acts: Davis Bacon Act prevailing wage provisions apply to contractors and subcontractors performing an involuntary fund or assisted contracts in excess of \$2,200 for construction, alteration or repair (including painting and decorating) of public building or public works.
k. Ohio Revolving Loan: Ohio revolving wage laws apply to all public improvements financed in whole or in part by public funds when the total overall project cost is fairly estimated to be more than \$200,000 for new construction or \$50,000 for reconstruction, enlargement, alteration, repair, remodeling, renovation, or painting.
l. HUD Section 3: Rehabilitation: Section 3 is a provision of the Housing and Urban Development (HUD) Act of 1968 requiring that recipients of certain HUD financial assistance, to the greatest extent feasible, provide job training, employment, and contracting opportunities for low or very low-income residents in connection with projects and public works.
m. Note of the above are applicable.

B. PROJECT CONTACTS
a. Architect of Record:
Company: Moody Nolan, Inc.
Name: Alex Jacobson
Phone: 614-461-4664
Email: alex@moodynolan.com
b. Developer:
Company: Columbus Metropolitan Housing Authority (CMHA)
Name: Mike Wagner
Phone: 614-461-4664
Email: mwagner@cmha.net
c. Owner:
Company: Jay Boone
Name: Jay Boone
Phone: 614-461-4664
Email: jboone@moodynolan.com

C. DEVELOPMENT DETAILS
a. Number of sites: 1
b. Number of residential buildings: 1 (New)
c. Number of accessory buildings: 0 (New/Existing/Car/Manufacturing/Bldg)
d. Date built: 2021
e. For proposals involving acquisition/rehabilitation or adaptive reuse, phase specify the year the building(s) were originally constructed. For multiple building proposals or scattered site projects, a range of dates may be provided.
f. Date occupied: 2021
g. Year development was or will be occupied: For multiple building proposals or scattered site projects, a range of dates may be provided.
1. Size storage: 100
h. Total # units: 10
i. Total # of income units: 10
j. Number of efficiency units: 1
k. Number of one-bedroom units: 1
l. Number of two-bedroom units: 9
m. Number of three-bedroom units: 0
n. Number of four-bedroom units: 0
o. Building/zoning variations received:

D. FLOOR AREA DETAILS
Table with columns: Space, GSQ, Notes. Rows include: Gross Square Footage of all Buildings (13875), Total Number of Low Income Units (95), Commercial Space Condominium Areas, Market Rate Unit Area (117133), Low Income Unit Area, Managers Unit Area.

Table with columns: Common Area (Public), Common Area (Circulation), Dedicated Program Space, Limited Common Area (Private), Support, Tenant Storage, Major Vertical Penetrations, Basement. Includes a TOTALS section with rows for Non-Low Income Floor Area, Low Income Floor Area, % Common Area, Net Rentable Square Footage, Average Net Rentable SQFT per 111 Unit.

- The following items shall not be included in any of the above square footages:
Trash enclosures
Concrete patios without roofs
Sidewalks

E. ADAPTABILITY AND ACCESSIBILITY
All developments must be designed and constructed to comply with all local, state, or federal accessibility guidelines that apply.
a. All developments must comply with the accessibility requirements as outlined in the Ohio Building Code, Chapter 4301.1-1, which includes the use of ICC/ANSI A117.1-2009 for the design and construction of accessible units.
b. All developments receiving ODFA funding must meet the accessibility requirements of Section 504. Identify the implementing standard the development will utilize to demonstrate compliance with Section 504 requirements (select one):
1. Uniform Federal Accessibility Standards (UFAS)
2. 2010 ADA Standards for Accessible Design under Title II of the ADA, except for certain specific identified provisions, as detailed in HUD's Notice on "Traditions for use of alternative accessibility standard," published in the Federal Register on May 23, 2014 ("Designing Access").
c. Developments may be subject to the Fair Housing Act design and construction requirements, if the development is subject to the Fair Housing Act design and construction requirements, verify that the project will be designed and constructed to meet the requirements of the Fair Housing Act and that all units, other than the accessible units, will be designed and constructed as ANS I Type II units.
d. Number of 504 mobility units required: 10
e. Number of 504 sensory units provided: 10
f. Number of 504 sensory units provided: 10
g. Number of accessible parking spaces: 10
L. Total number of non-conforming accessible units and reason (only applicable to adaptive reuse or rehabilitation projects if full compliance is technically infeasible. Exception request may have been submitted): N/A

F. SUSTAINABILITY
a. Developments must meet all energy efficiency requirements as stated in the Ohio Building Code or Residential Code.
b. In addition, all multifamily developments must obtain one of the below energy efficiency or green building configurations. Select which certification will apply to the development:
Energy Star MFR Performance Path
Energy Star MFR Prescriptive Path
LEED Certified
LEED Silver
LEED Platinum
ICC 700 NGBS Bronze
ICC 700 NGBS Silver
2020 Enterprise Green Communities
OHFA Limited Scope Rehabilitation Sustainability Standards

G. EXCEPTION REQUESTS
Select the items an Exception Request Form has been submitted for.
New Construction
Items that are subject to non-ODFA (such as local codes or design standards, funding source, etc.) requirements that may conflict with the ODFA Design and Architectural Standards.
Items that are unable to be complied with for a compelling reason, as fully described by the applicant in the Exception Request form.
Rehabilitation or Adaptive Reuse
Durable Materials - Interior
Major Building Components
Common Areas
Elevators
Interior Doors
Floors/Ceilings
Unit Sizes
Bedroom Sizes
Bathrooms
Kitchen & Appliances
Laundry Facilities

H. DESIGN-RELATED COMPETITIVE CRITERIA
Select the items below that the development is seeking competitive points for under the 2021 QAP.
Interior Design
504 Units
Exercise and Wellness
Green Development

I. SCOPE OF WORK
Provide an overview of the proposed improvements to be made involving site design, building design, mechanical and electrical systems and building components including building exterior, interior, and life safety items.
THE FOLLOWING DESCRIBES THE PRELIMINARY SCOPE OF RENOVATION WORK INCLUDED AT THE MEADOWS:
INTERIOR OF RESIDENTIAL UNITS
EXISTING TUBS AND SURROUNDS ARE IN FAIR CONDITION.
SCOPE: NO REPLACEMENT WORK IS PROPOSED TO TUBS AND SURROUNDS. CLEAN ALL TUBS, SURROUNDS AND HEAT EXCHANGER UNITS AT ALL TYPED UNITS.
REPLACE EXISTING TUBS AT (S) ANS I TYPE A UNITS WITH NEW ROLL-IN SHOWERS.
MODIFY WALLS AS REQUIRED FOR THE INSTALLATION.
2. REFINISH ALL KITCHENS INCLUDING CABINETS, COUNTERTOPS, PLUMBING AND FLOORING.
SCOPE: UNIT KITCHENS SHALL RECEIVE ALL NEW KITCHEN CABINETRY, COUNTERTOPS, PLUMBING FIXTURES AND FLOORING. ADD POP SPRAYSH COATING BETWEEN COUNTERTOPS.
3. ADDRESS ANY ISSUES RAISED IN THE Phase I Environmental Site Assessment (ESA) reports IN THE space provided below. Include information for a single-unit and scattered-site projects, as required by applicable program funding guidelines.
SEE ATTACHED PHASE I ESA REPORT.

d. For any developments proposing adaptive reuse or rehabilitation with historic tax credits, specify any restrictions or requirements that will be used to determine compliance with the Ohio Historic Preservation Tax Credit and/or Federal Historic Preservation Tax Credit programs.
THE PROJECT IS NOT PURSUING HISTORIC TAX CREDITS.

a. Address any issues raised in the Physical Capital Needs Assessment (PCNA) and Scope of Work reports IN THE space provided below. Include information for all developments proposing rehabilitation of existing units or the adaptive reuse of a building at proposed submission, especially where the scope of work and PCNA do not agree.

SITE AND BUILDING COMPONENTS
For each item listed below, provide a brief description of the specific improvements that will be incorporated in the proposed development. Attach additional pages if needed.
If no improvements will be made to the item, provide a description of their current state.
Site Work (including security):
SIDEWALK REPAIR
SCOPE: REPLACE ANY DAMAGED SIDEWALK AS SHOWN ON CIVIL DRAWINGS. REPLACE SIDEWALK ALONG ACCESSIBLE ROUTE TO BE 5' WIDE.
2. ASPHALT PAVEMENT
SCOPE: MILL AND PATCH ASPHALT AREAS AND RESTRAPE THE PARKING STALLS. SEAL COAK
3. CURBS
SIDEWALK REPAIR
SCOPE: REPLACE ANY DAMAGED SIDEWALK AS SHOWN ON CIVIL DRAWINGS. REPLACE SIDEWALK ALONG ACCESSIBLE ROUTE TO BE 5' WIDE.
2. ADA RAMPS
SCOPE: EXISTING RAMPS TO REMAIN. ADD CURB RAMPS ALONG ACCESSIBLE ROUTE AS IS

K. CERTIFICATION
I, the undersigned, warrant and certify to ODFA that the following does and will apply to the proposed development:
The development will be designed and constructed to meet the requirements of all applicable laws, codes, program guidelines, as well as the ODFA Design and Architectural Standards and specific features applicable to the project as outlined in this form. This includes any and all local, state, or federal accessibility laws that are currently in effect and apply to the project. Any additional cost of construction required for the development to be in compliance with any of these laws has been included in the development budget.
By signing this document, the owner, architect, and general contractor certify that the plans, specifications, and features submitted as part of this application will become a permanent standard for the proposed development. This hereby becomes a binding agreement for the actual construction insofar as if the development is awarded ODFA funding.
ODFA does not take responsibility for design, construction, and plan review or any other municipal or building department review or approval and it is up to you to make this agreement according to any requirement of such jurisdictions.
ODFA reserves the right to verify compliance with agreed-upon features including durability of materials, accessibility, universal design, green building requirements and energy efficiency components.
I understand that I am contractually obligated to know the federal, state and local accessibility laws applicable to the development and have applied them accordingly. To the best of my professional knowledge and belief, I agree that the development as designed is in compliance with all applicable federal, state and local housing and accessibility laws and regulations.

Moody Nolan, Inc. (614) 461-4664 jboone@moodynolan.com
Company/Firm Name Phone Number Email
300 Spruce Street, Suite 300, Columbus, Ohio 43215
Company/Firm Address
Jay Boone Partner
Printed Name (Firm Authorized Signatory) Title 11/2/2021
Signature Date

J. UNIVERSAL DESIGN COMPONENTS
ONLY APPLICABLE TO THOSE PROJECTS SEEKING COMPETITIVE POINTS FOR UNIVERSAL DESIGN. LEAVE THIS SECTION BLANK IF DEVELOPMENT IS NOT SEEKING THESE COMPETITIVE POINTS UNDER THE 2021 QAP.
a. Yes, development will meet all energy efficiency requirements as stated in the Ohio Building Code or Residential Code.
b. For those projects seeking competitive points for Universal Design, select all of the below items that will be included in the development. Mandatory items are marked with an asterisk. Refer to the pages 45, 51, 50, and 119 of the 2021 QAP for more detail.
Additionally, specify the architectural page reference, or if it will be covered by a general/universal plan note, mark "N/A":
Which of the below scoring options will the development be seeking? (select one)
All mandatory items = 5 points
All mandatory items + 5 additional in 50% of units = 8 points
All mandatory items + 10 additional in 50% of units = 10 points
All mandatory items + 5 additional in 100% of units = 10 points

Entry
Included? Page or Note Item
ANSI A117.1 \*36" wide (minimum) entry door with lever-style handle (mandatory for NC only)
ANSI A117.1 \*Minimum 5' x 8' level clear space inside and outside entry door
ANSI A117.1 \*Adequate non-glare lighting at walkways, accessible routes, and entrance spaces
ANSI A117.1 \*Adequate lighting both inside and outside the building and unit entrance
ANSI A117.1 \*High visibility address numbers (both building and exterior units)
ANSI A117.1 \*Overhead weather protection at entrances (mandatory for NC only)
ANSI A117.1 Built-in shelf/bench/ledge located outside the door
ANSI A117.1 \*Non-slip surfaces on walkways and entrances
ANSI A117.1 ANS I Primary unit entry with an accessible/flat threshold and beveled doorset ANS I TYPE A UNITS
ANSI A117.1 ANS I Door locks that are easy to operate, such as keyless locks with remote control or keypad
ANSI A117.1 No-step entry (1/2" or less threshold) at main entrance ANS I TYPE A UNITS

Interior Stairs and Hallways
Included? Page or Note Item
ANSI A117.1 \*Adequate lighting to illuminate all stairways, landings, and hallways
ANSI A117.1 \*Handrails with a minimum width of 42"
ANSI A117.1 \*Handrails on front edge of steps or ramps to color-contrast material
ANSI A117.1 Color contrast between stair treads and risers
ANSI A117.1 Handrails on both sides of interior stairs

Interior Doors
Included? Page or Note Item
ANSI A117.1 \*Adequate lighting to illuminate all stairways, landings, and hallways
ANSI A117.1 \*Handrails with a minimum width of 42"
ANSI A117.1 \*Handrails on front edge of steps or ramps to color-contrast material
ANSI A117.1 Color contrast between stair treads and risers
ANSI A117.1 Handrails on both sides of interior stairs

Included? Page or Note Item
ANSI A117.1 \*34" wide (minimum) doors leading to habitable room, allowing for a 32" minimum overhead
ANSI A117.1 \*Lever-style door hardware on all interior doors WHERE REPAIRED
ANSI A117.1 \*Interior maximum door threshold of 1/4 inch beveled or flush ANS I TYPE A UNITS
Pocket doors with easy-grip handles

Faucets
Included? Page or Note Item
ANSI A117.1 \*Anti-scald faucets with lever handles for all sinks, bathtubs, and showers
ANSI A117.1 \*Pressure-balanced faucets
Electrical
Included? Page or Note Item
ANSI A117.1 \*Thermostat and control panels that are easy to read and simple to operate WHERE REPAIRED
ANSI A117.1 \*Fuses, circuit breakers, and transfer switches visible from outside
ANSI A117.1 \*Extra electrical outlets near the bed (for medical equipment or rechargeable items, etc.) placed 18" to 24 inches from the floor (bedroom only)
ANSI A117.1 \*Lighted switches visible in the dark
ANSI A117.1 \*Switched outlets for lamps, etc. to be turned on with wall switch
ANSI A117.1 \*Electrical outlets, phone jacks, and data ports at least 18" above finished floor
ANSI A117.1 \*Light switches between 48" and 60" above finished floor, thermostats no more than 48" above finished floor
ANSI A117.1 \*Clear access space of 30" by 48" in front of switches, outlets, and controls
ANSI A117.1 \*Audible and visual alarms for smoke/fire/carbon monoxide in all code-required accessible areas and all units

Bathrooms
Included? Page or Note Item
ANSI A117.1 \*Countertops with beveled edges
ANSI A117.1 \*Adjustable-height showerhead or handheld showerhead with flexible hose and easily operable controls
ANSI A117.1 \*Non-glare lighting at vanities
ANSI A117.1 A full or half bath on the main floor with clear floor space of 30" x 48"
ANSI A117.1 \*Overhead light fixture in tub/shower
ANSI A117.1 \*Mirrors placed for both standing and sitting, such as a full-length or sitting mirror
ANSI A117.1 \*Towel centered at least 18" from any sink wall, tub, or cabinet
ANSI A117.1 In at least one bathroom per unit:
ANSI A117.1 ANS I Low-threshold or curbless shower at least 5' x 3' OF ADA bathtub with seat
ANSI A117.1 ANS I Clear knee space (at least 27" high) under sink, counters, and/or sink tops. Under sink, pipes must have protection and may not be in the required knee space. May be open underneath or achieved by means of removable vanity or fold back or self-storing doors. Pipe protection panels must be provided to prevent contact with hot or sharp surfaces.

Kitchen
Included? Page or Note Item
ANSI A117.1 \*At least 18" clear space on each side of stove, sink, and one side of fridge
ANSI A117.1 \*Loop handles on drawers and cabinets
ANSI A117.1 \*Non-glare task lighting to illuminate sink, stove, and work areas
ANSI A117.1 \*Adjustable-height analysis in wall cabinets
ANSI A117.1 \*Base cabinets with pull out drawers
ANSI A117.1 Pull-out work surface near the oven, refrigerator and/or microwave
ANSI A117.1 Visual contrast at front edge of countertop or between the countertop and the cabinets
ANSI A117.1 \*Stain-free refrigerator/freezer
ANSI A117.1 \*Cooking/range with front or side-mounted controls (senior units only) ANS I TYPE A UNITS
ANSI A117.1 \*Extra outlets for small appliances, electronics, etc.
ANSI A117.1 \*Clear knee space (at least 27" high) under sink, counters, and/or sink tops. Under sink, pipes must have protection and may not be in the required knee space. May be open underneath or achieved by means of removable base cabinets or fold back or self-storing doors.

Closets/Storage
Included? Page or Note Item
ANSI A117.1 \*Area is well lit with a switch located outside the space
ANSI A117.1 \*Doors and handles that are easy to operate. No to-fold or accordion-type doors.
ANSI A117.1 \*Adjustable-height shelving and/or closet rods OR clothes rods installed at multiple heights
ANSI A117.1 \*Pull-out shelves, roller cabinets, and other easy to access storage components

ANSI A117.1 \*Grab bars, or wall bracing for future installation of grab bars, in tub/shower, and toilet. Grab bars must be properly anchored and supported.

ANSI A117.1 \*Site Work (including security):
SIDEWALK REPAIR
SCOPE: REPLACE ANY DAMAGED SIDEWALK AS SHOWN ON CIVIL DRAWINGS. REPLACE SIDEWALK ALONG ACCESSIBLE ROUTE TO BE 5' WIDE.

ANSI A117.1 \*Interior of Residential Units
EXISTING TUBS AND SURROUNDS ARE IN FAIR CONDITION.
SCOPE: NO REPLACEMENT WORK IS PROPOSED TO TUBS AND SURROUNDS. CLEAN ALL TUBS, SURROUNDS AND HEAT EXCHANGER UNITS AT ALL TYPED UNITS.

ANSI A117.1 \*Interior of Residential Units
EXISTING TUBS AND SURROUNDS ARE IN FAIR CONDITION.
SCOPE: NO REPLACEMENT WORK IS PROPOSED TO TUBS AND SURROUNDS. CLEAN ALL TUBS, SURROUNDS AND HEAT EXCHANGER UNITS AT ALL TYPED UNITS.

ANSI A117.1 \*Interior of Residential Units
EXISTING TUBS AND SURROUNDS ARE IN FAIR CONDITION.
SCOPE: NO REPLACEMENT WORK IS PROPOSED TO TUBS AND SURROUNDS. CLEAN ALL TUBS, SURROUNDS AND HEAT EXCHANGER UNITS AT ALL TYPED UNITS.

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Table with columns: #, DATE, CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
COLUMBUS, OH 43215
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215
PHONE: (614) 461-4664 FAX: (614) 280-8881 CERTIFICATE NO. FIRM 00197475

Moody Nolan
DESIGN & CONSTRUCTION FEATURES AGREEMENT

STATE OF OHIO REGISTERED ARCHITECT
JAY W. BOONE 10740
DRAWN BY: xxx CHECKED BY: xxx
05/12/2026
18076.04
G004
JAY W. BOONE, LIC # 10740 EXP. DATE: 12/31/2027
BID SET

**GENERAL NOTES - AREA PLANS**

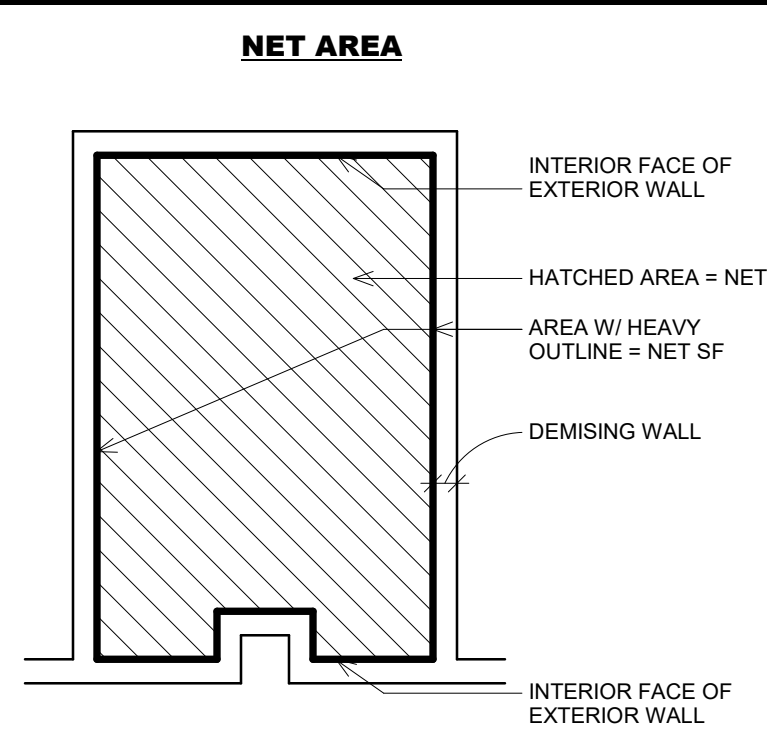
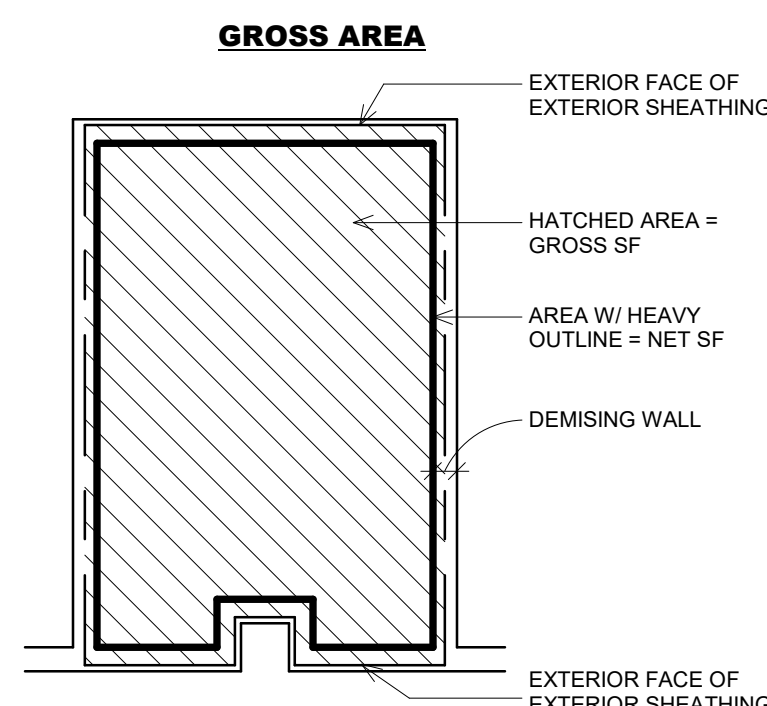
- A. REFER TO G SERIES SHEETS FOR AREA SUMMARIES BY BUILDING TYPE AND UNIT TYPE.
- B. REFER TO G SERIES SHEETS FOR EXISTING SITE PLAN AND SITE INFORMATION.

GROSS BUILDING

**AREA SCHEDULE (GROSS BUILDING)**

NAME	AREA	NO. OF BLDGS.	TOTAL AREA
<b>BUILDING TYPE I</b>			
GROSS BUILDING	2,564 SF	7	17,948 SF
GROSS BUILDING	2,014 SF	7	14,098 SF
	4,578 SF		32,046 SF
<b>BUILDING TYPE II</b>			
GROSS BUILDING	3,093 SF	1	3,093 SF
GROSS BUILDING	2,509 SF	1	2,509 SF
	5,603 SF		5,603 SF
<b>BUILDING TYPE III</b>			
GROSS BUILDING	4,080 SF	4	16,320 SF
GROSS BUILDING	2,019 SF	4	8,076 SF
GROSS BUILDING	526 SF	4	2,104 SF
GROSS BUILDING	526 SF	4	2,104 SF
	7,151 SF		28,603 SF
<b>BUILDING TYPE IV</b>			
GROSS BUILDING	3,604 SF	4	14,416 SF
GROSS BUILDING	663 SF	4	2,652 SF
GROSS BUILDING	663 SF	4	2,652 SF
GROSS BUILDING	5,930 SF	4	23,720 SF
<b>BUILDING TYPE V</b>			
GROSS BUILDING	3,604 SF	2	7,208 SF
GROSS BUILDING	824 SF	2	1,648 SF
GROSS BUILDING	824 SF	2	1,648 SF
GROSS BUILDING	6,076 SF	2	12,152 SF
<b>BUILDING TYPE VI</b>			
GROSS BUILDING	3,021 SF	5	15,105 SF
GROSS BUILDING	1,032 SF	5	5,160 SF
GROSS BUILDING	510 SF	5	2,550 SF
	4,563 SF		22,815 SF
<b>COMMUNITY CTR</b>			
GROSS BUILDING	5,921 SF	1	5,921 SF
	5,921 SF		5,921 SF
<b>MAINTENANCE BUILDING</b>			
GROSS BUILDING	889 SF	1	889 SF
	889 SF		889 SF
<b>TOTAL</b>	<b>40,374 SF</b>		<b>130,401 SF</b>

**UNIT SQUARE FOOTAGE DIAGRAM**



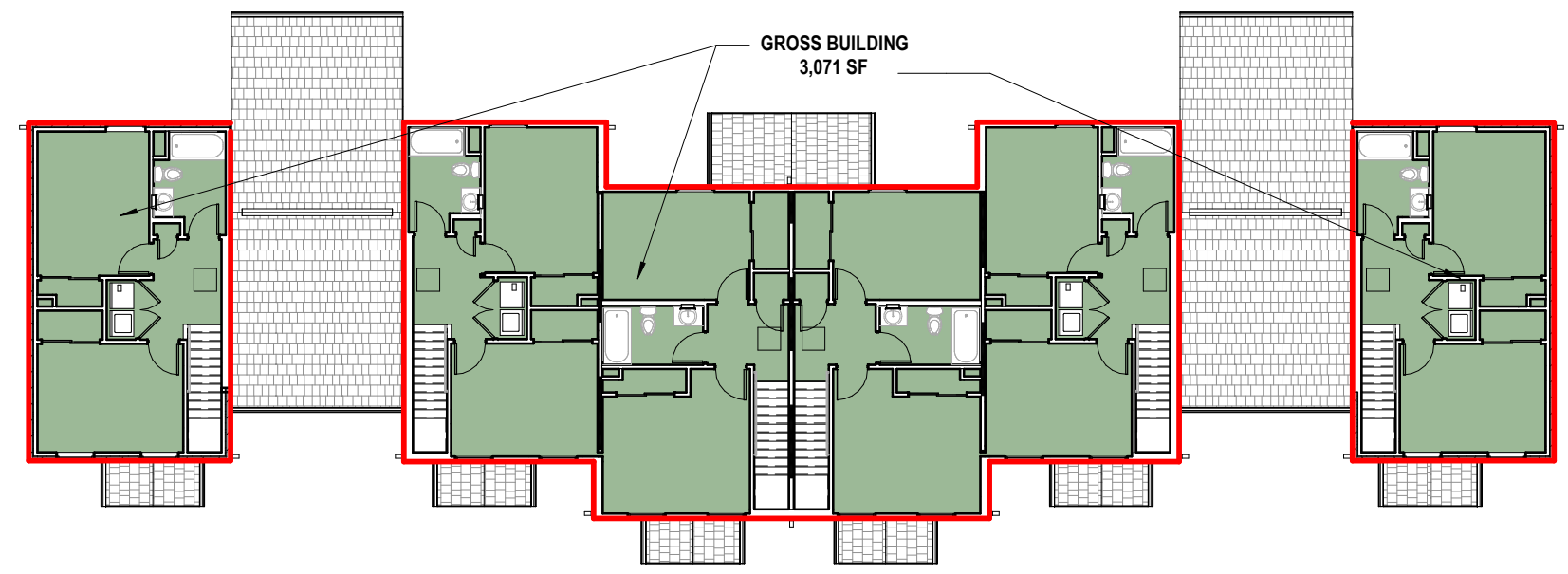
#	DATE	CHANGE DESCRIPTION

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 COLUMBUS METROPOLITAN HOUSING AUTHORITY  
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 COLUMBUS, OH 43110  
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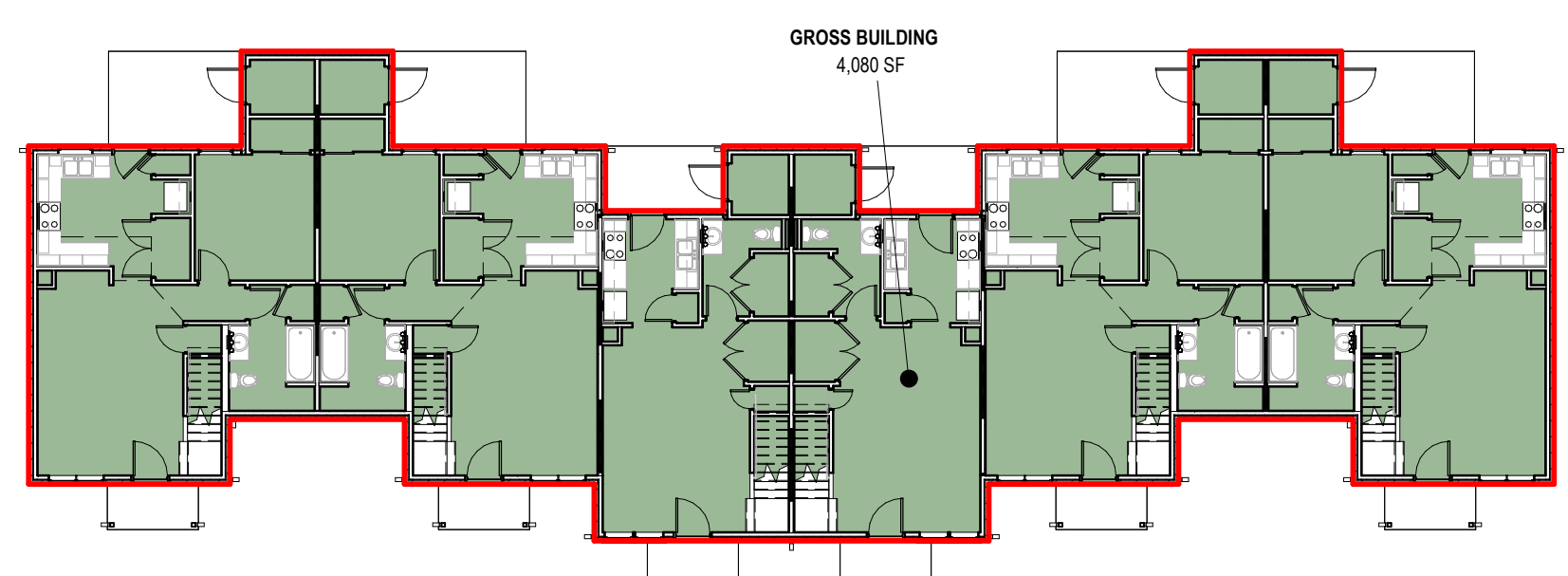
**Moody Nolan**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881  
 CERTIFICATE NO: FIRM 00197475

**AREA PLANS - GROSS BUILDING**

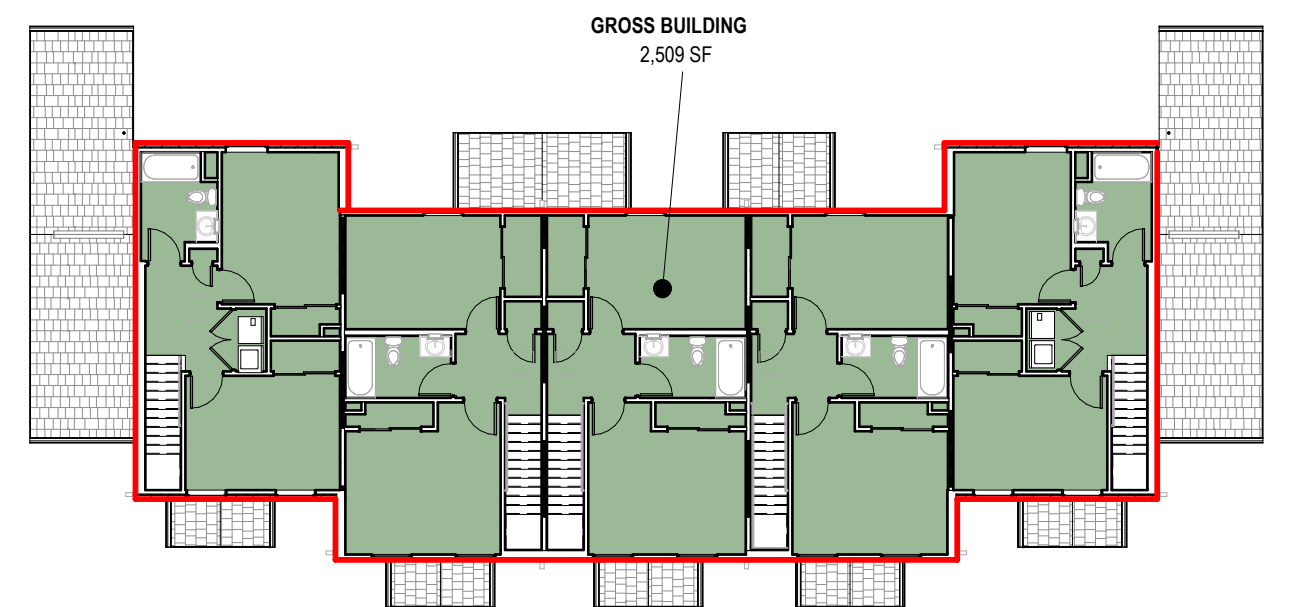
05/12/2026  
 DRAWN BY: xxx CHECKED BY: xxx  
 18076.04  
**G005**  
 BID SET  
 JAY W. BOONE, LIC. # 10740  
 EXP. DATE: 12/31/2027



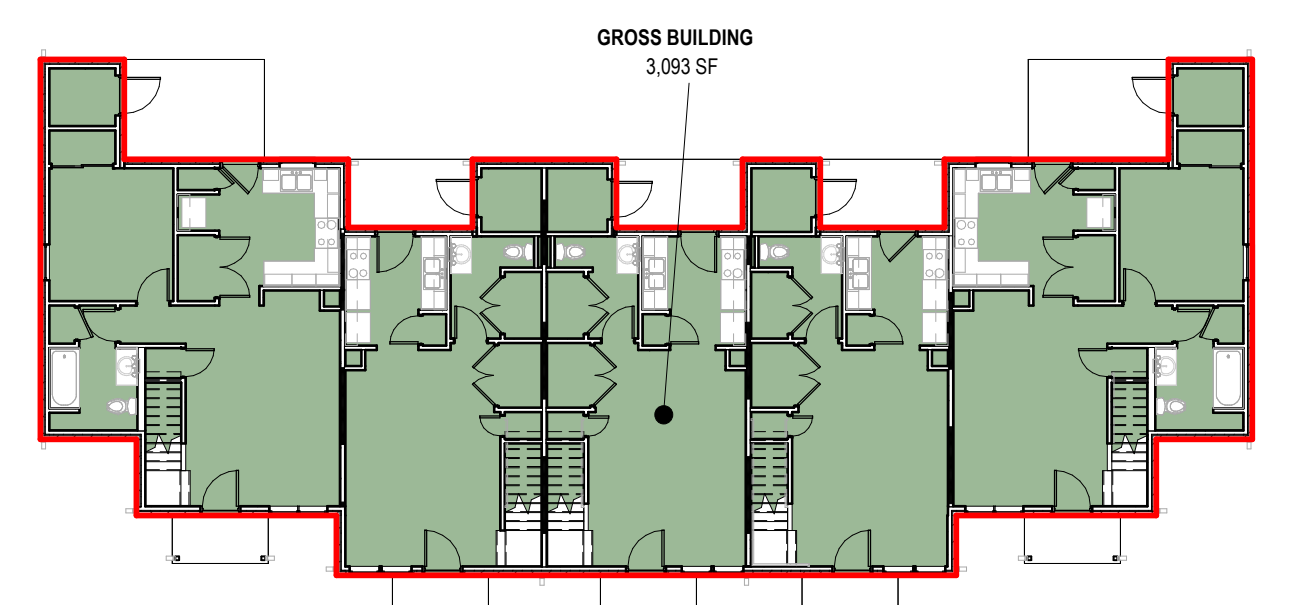
**6 PLAN** BUILDING TYPE III - SECOND FLOOR GROSS BLDG AREA  
1/16" = 1'-0"



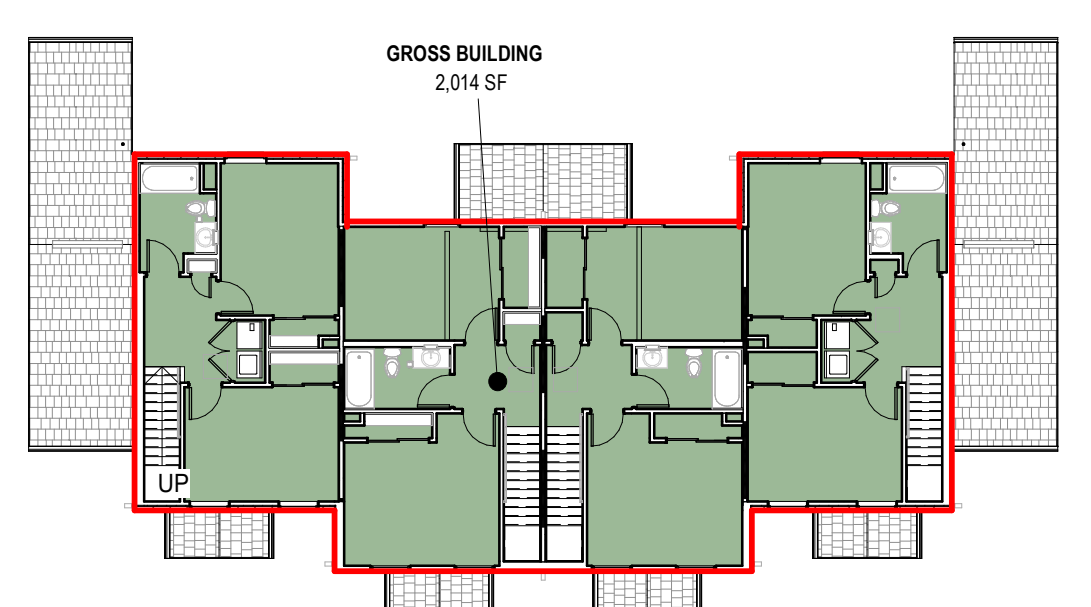
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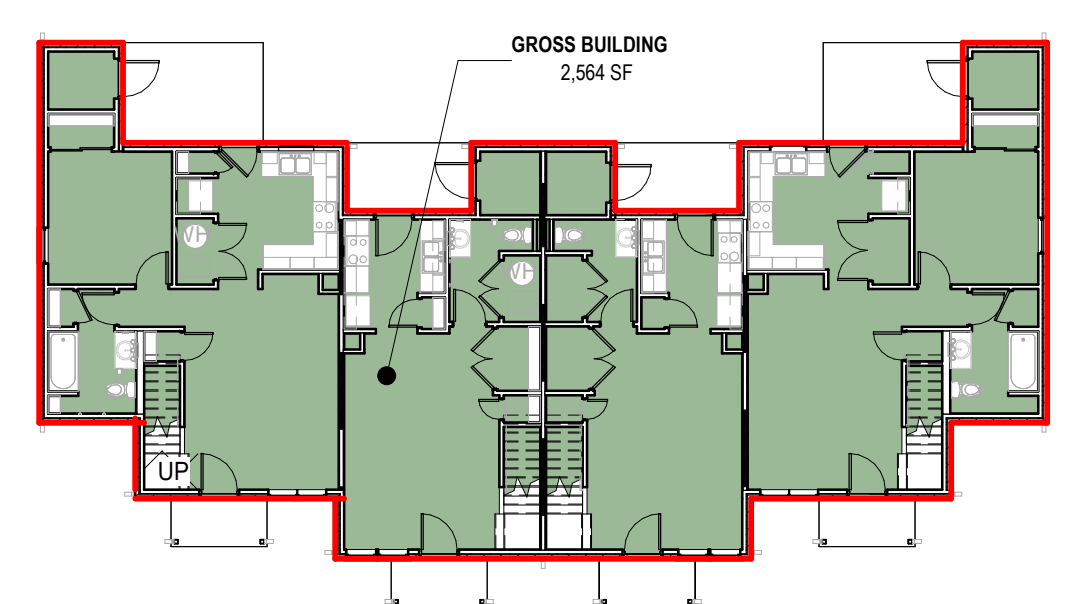
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1/16" = 1'-0"



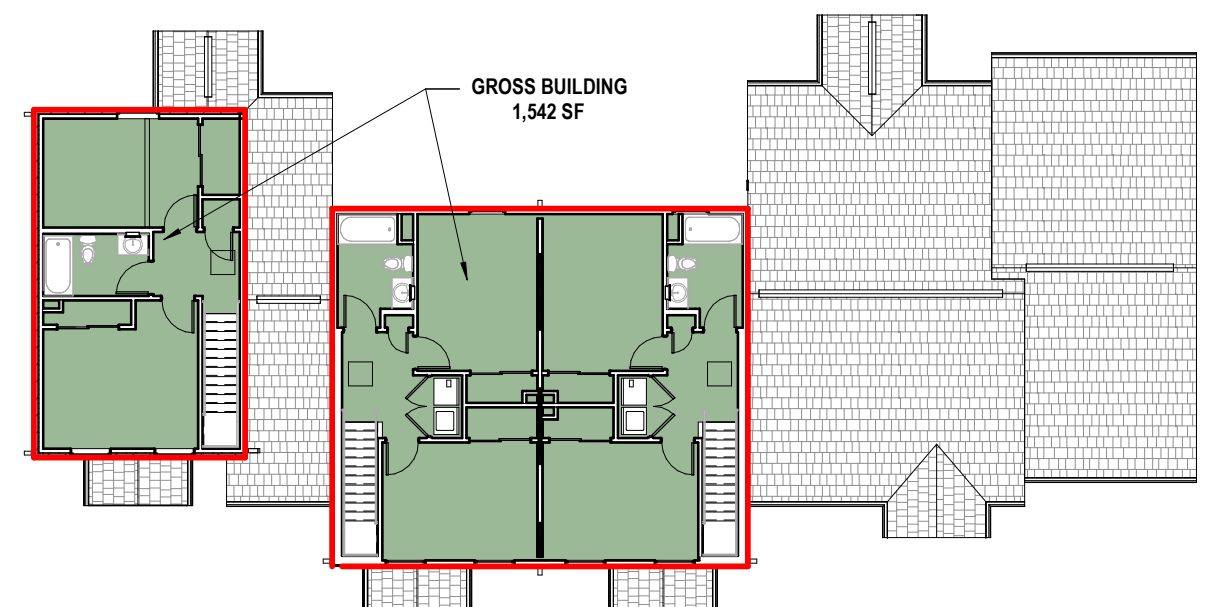
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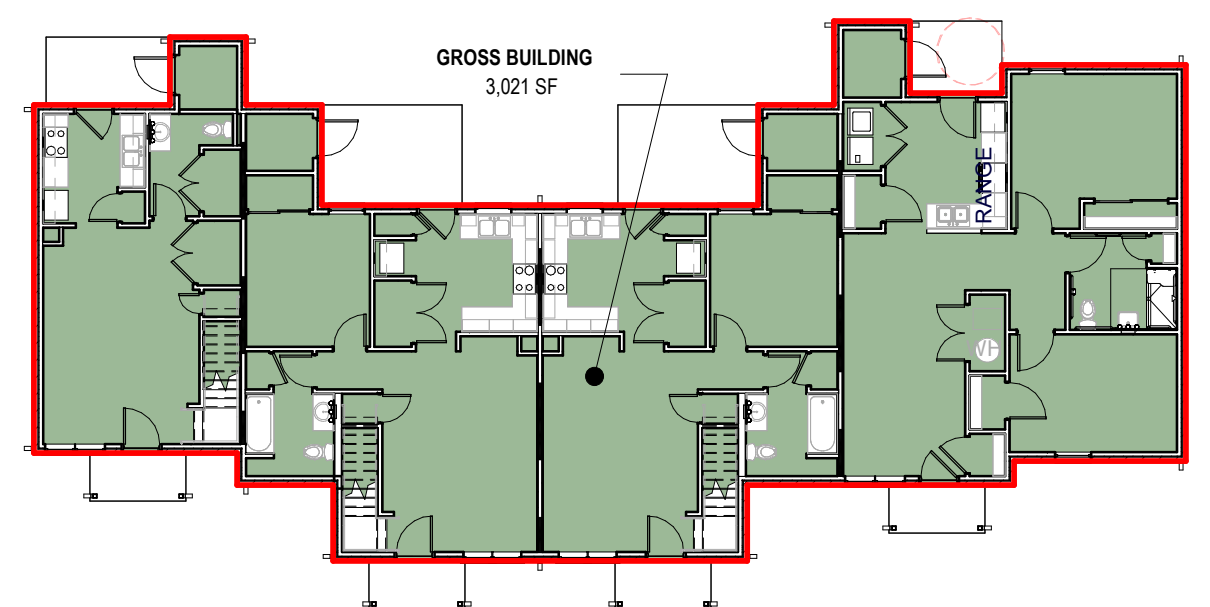
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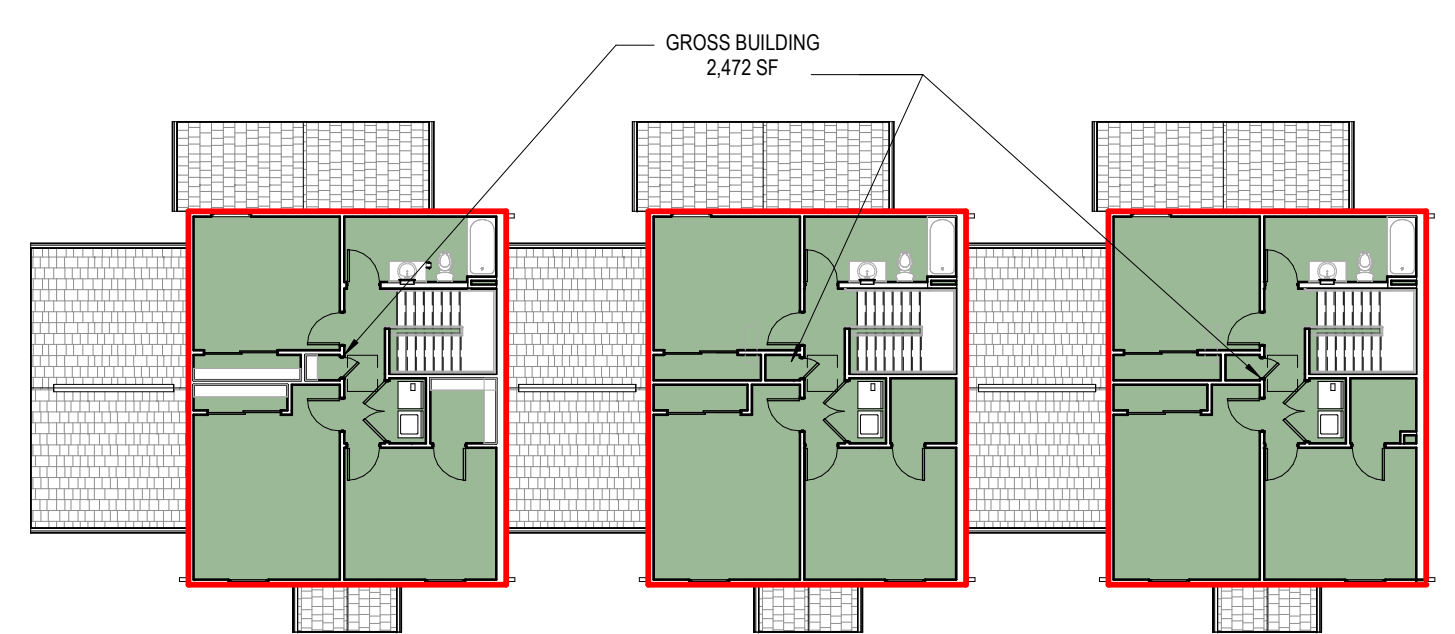
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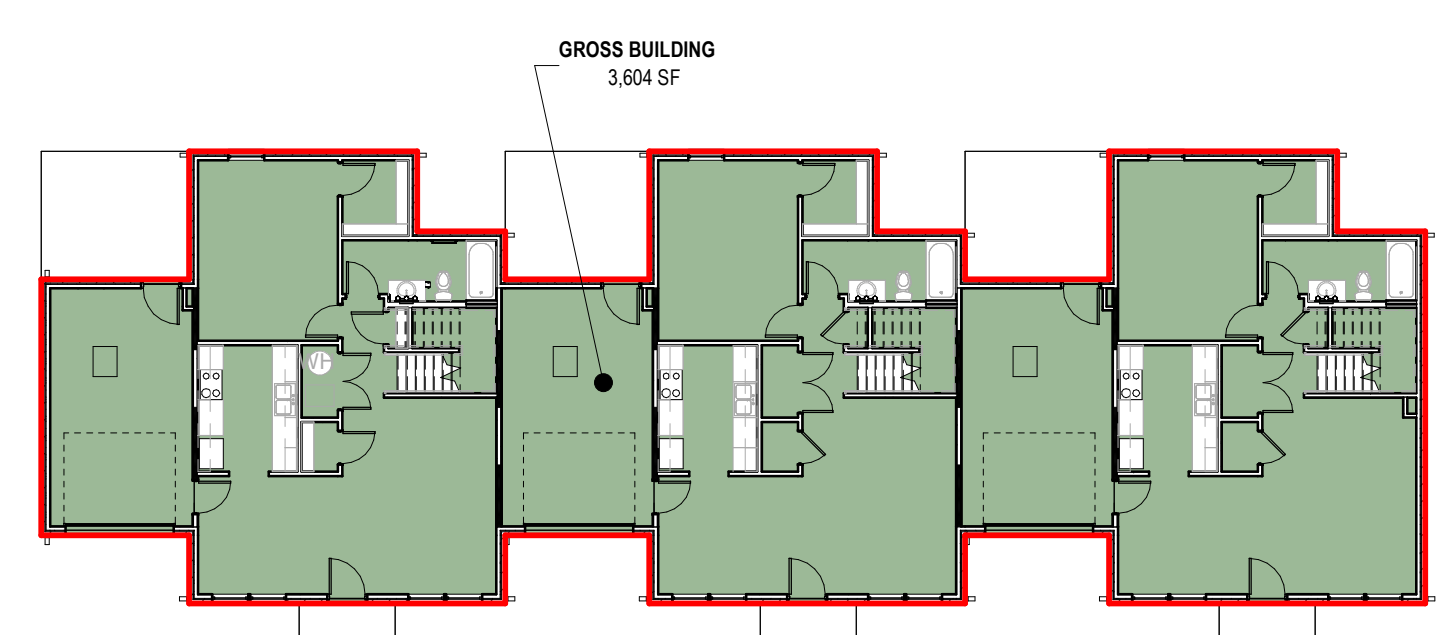
**12 PLAN** BUILDING TYPE VI - SECOND FLOOR GROSS BLDG AREA  
1/16" = 1'-0"



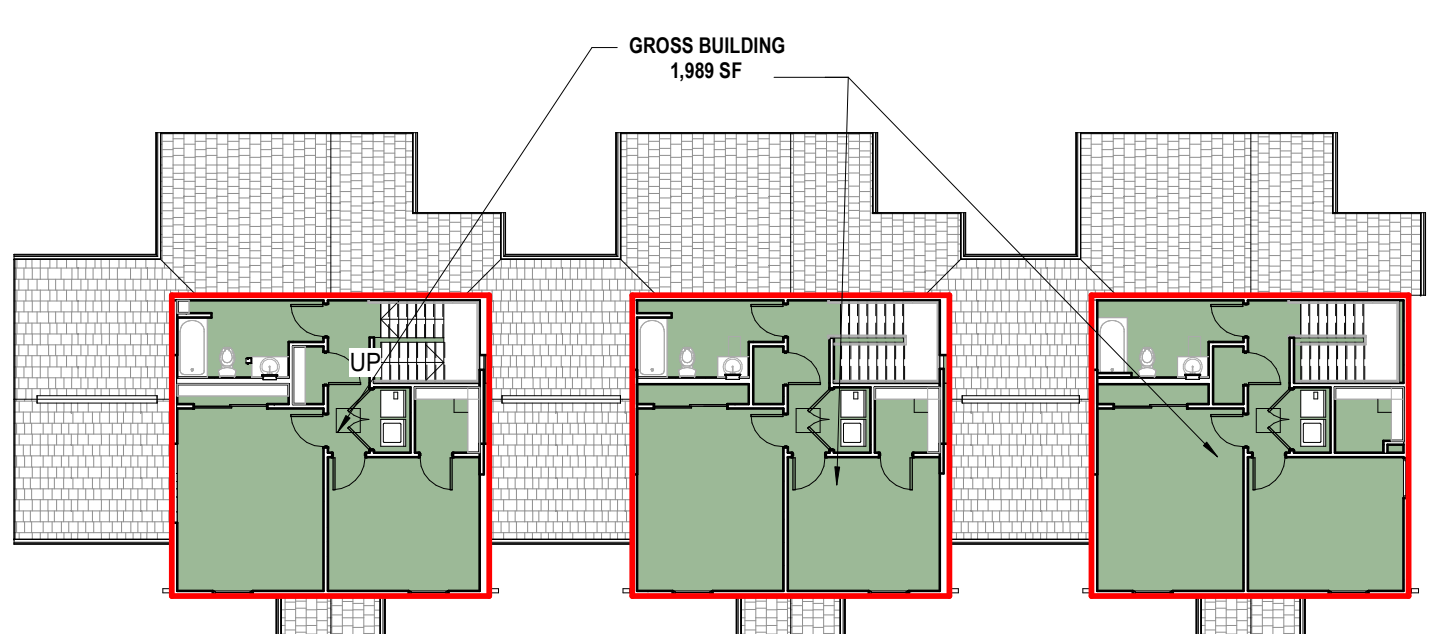
**11 PLAN** BUILDING TYPE VI - FIRST FLOOR GROSS BLDG AREA  
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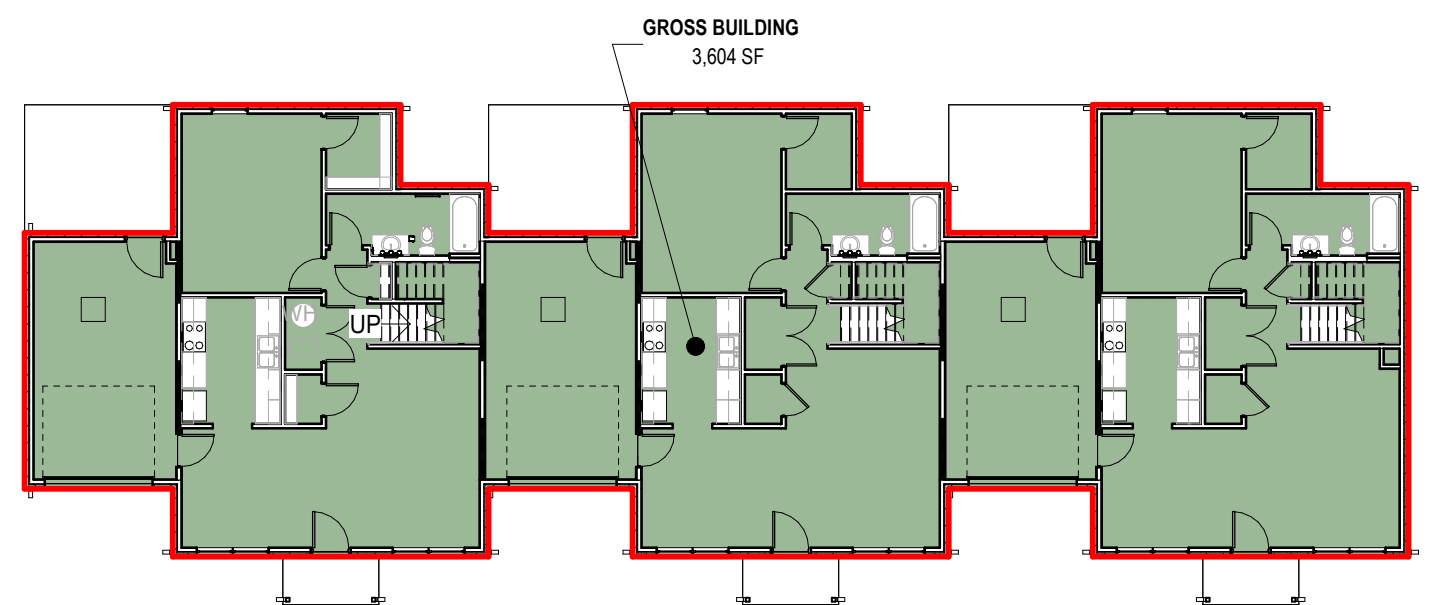
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1/16" = 1'-0"



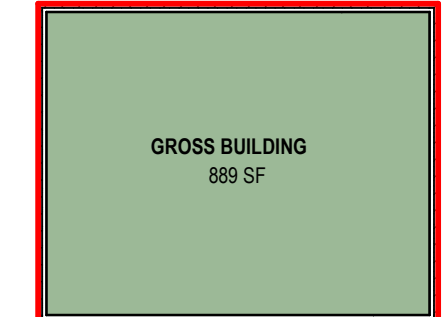
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1/16" = 1'-0"



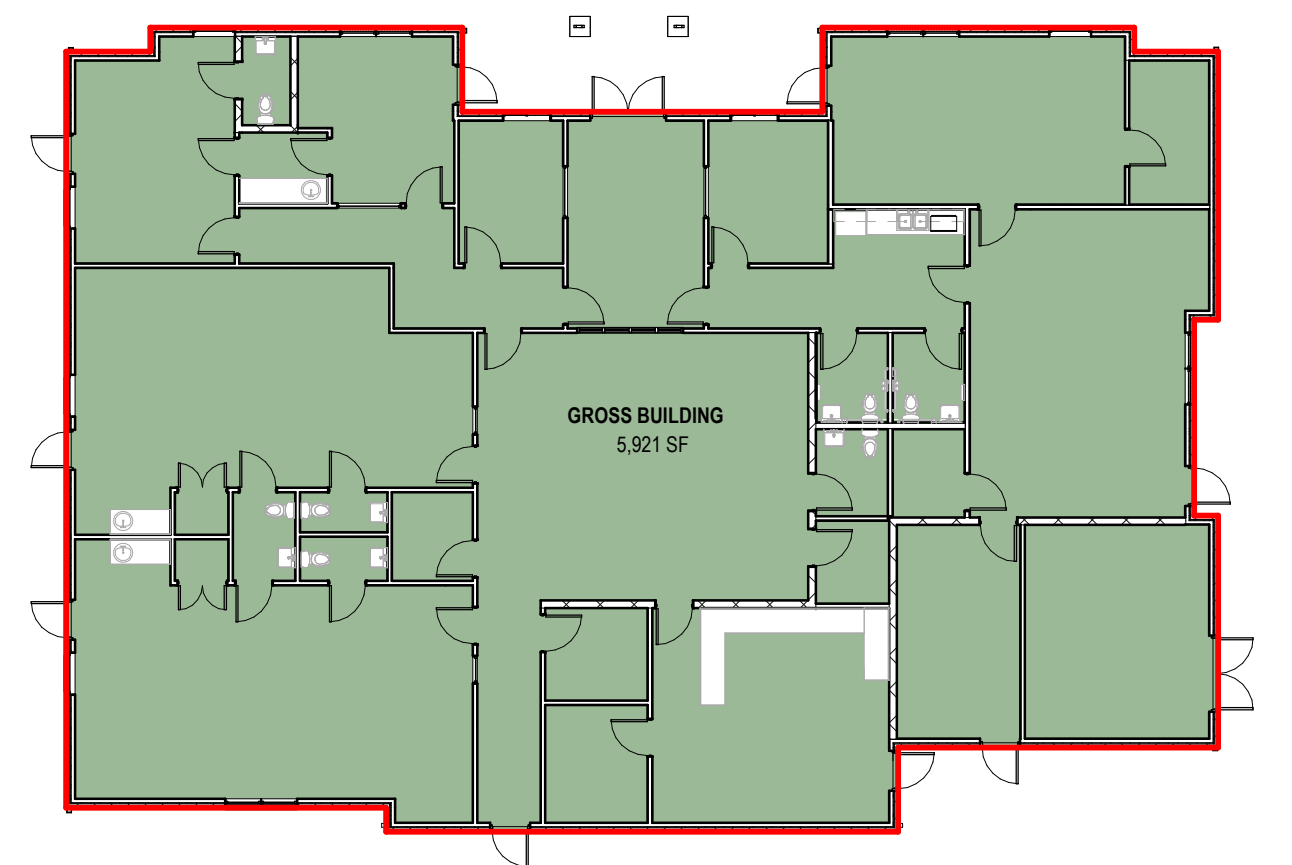
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1/16" = 1'-0"



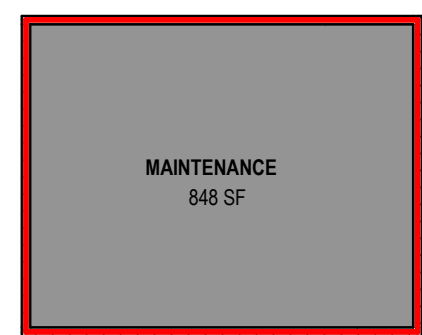
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1/16" = 1'-0"



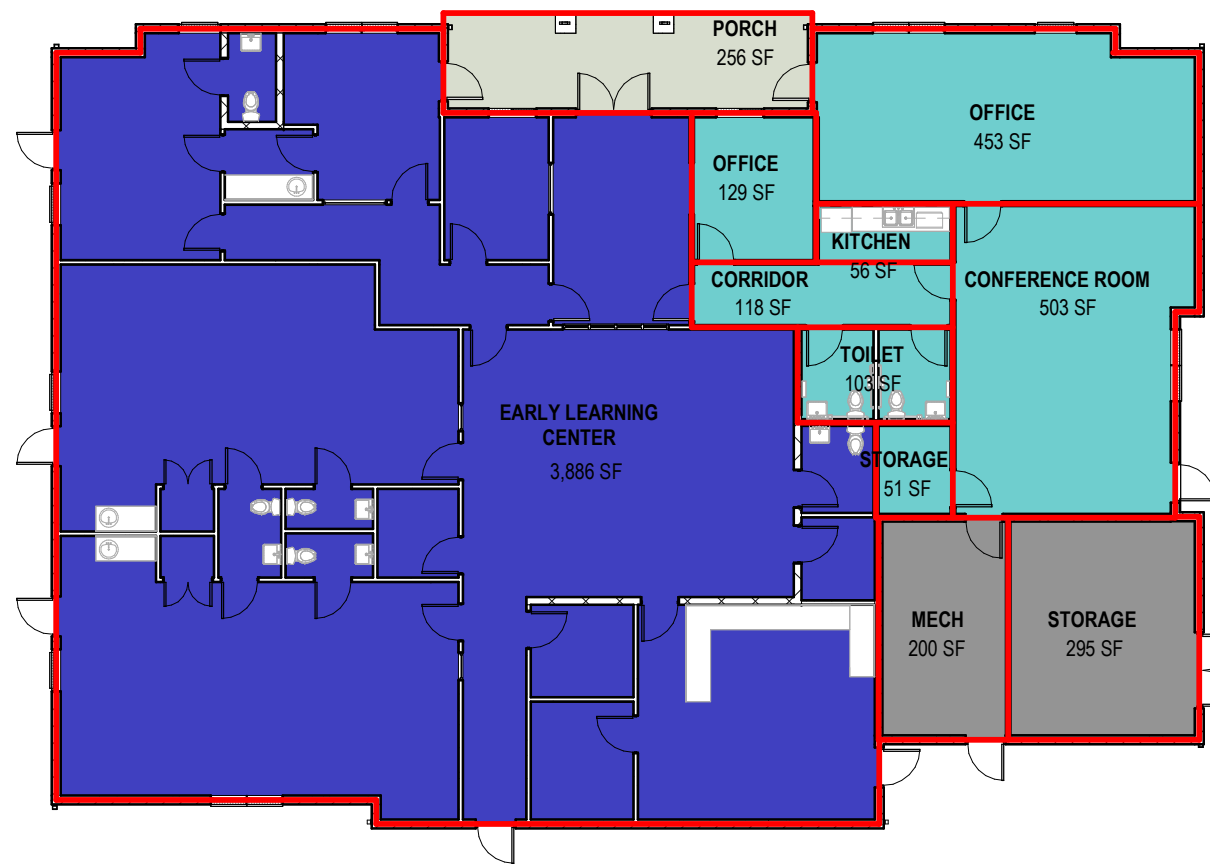
**14 PLAN** MAINTENANCE BUILDING - GROSS BUILDING AREA  
1/16" = 1'-0"



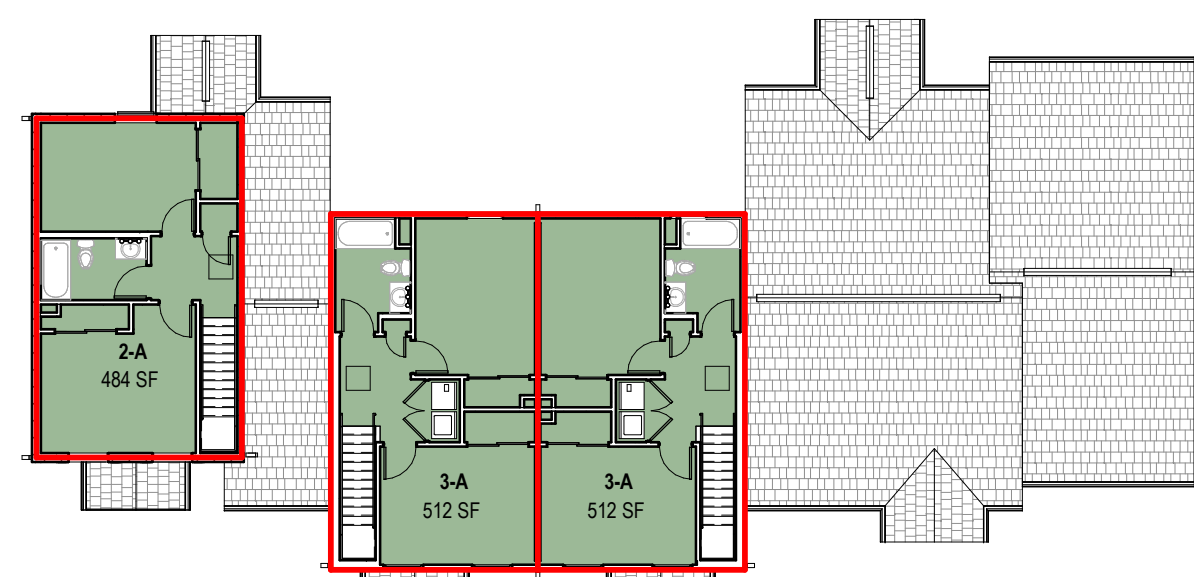
**13 PLAN** COMMUNITY BUILDING - GROSS BUILDING AREA  
1/16" = 1'-0"



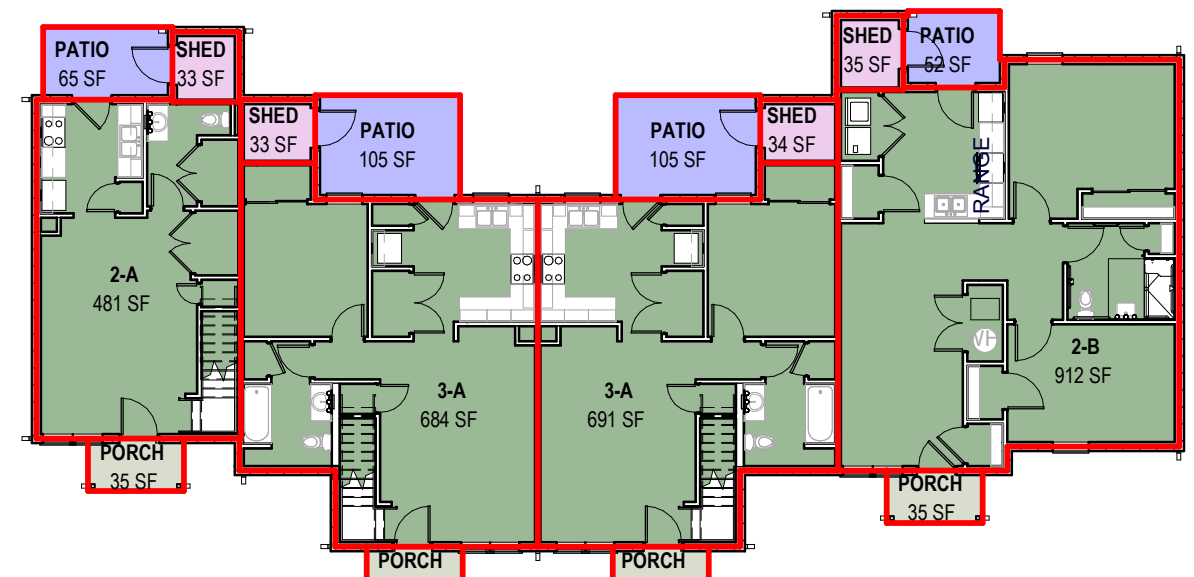
**14 PLAN** MAINTENANCE BUILDING - GROSS AREA  
1/16" = 1'-0"



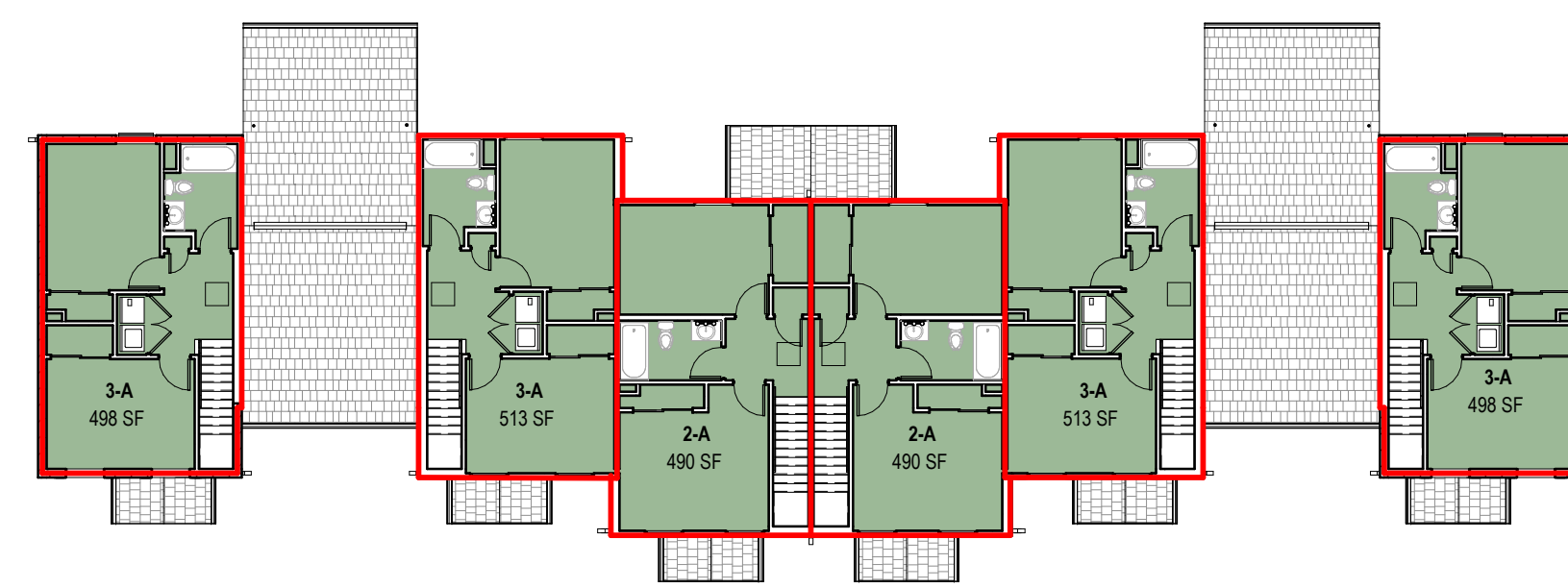
**13 PLAN** COMMUNITY CENTER - GROSS AREA  
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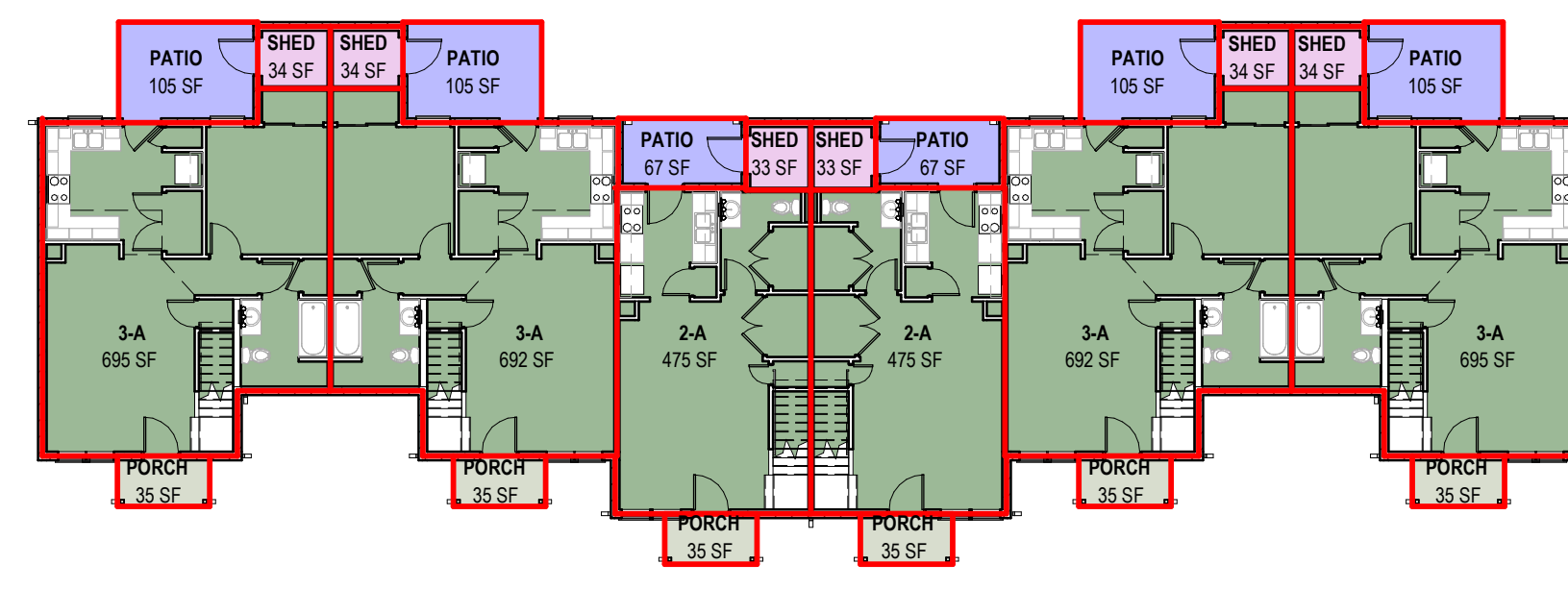
**12 PLAN** BUILDING TYPE VI - SECOND FLOOR - GROSS AREA  
1/16" = 1'-0"



**11 PLAN** BUILDING TYPE VI - FIRST FLOOR - GROSS AREA  
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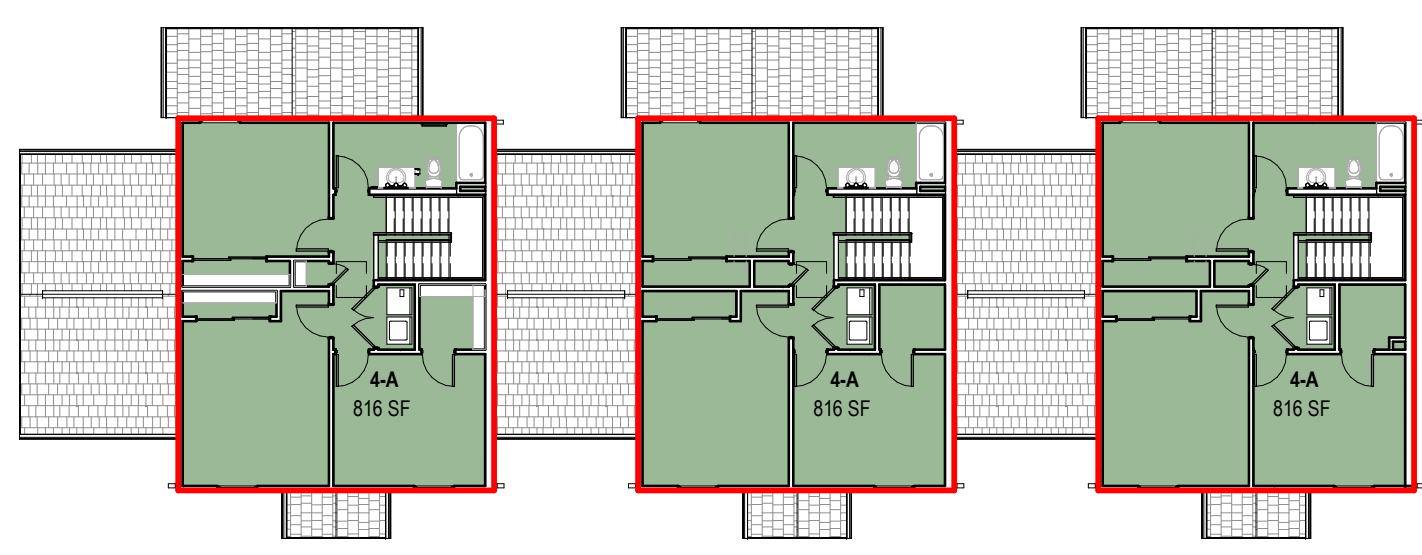


**6 PLAN** BUILDING TYPE III - SECOND FLOOR - GROSS AREA  
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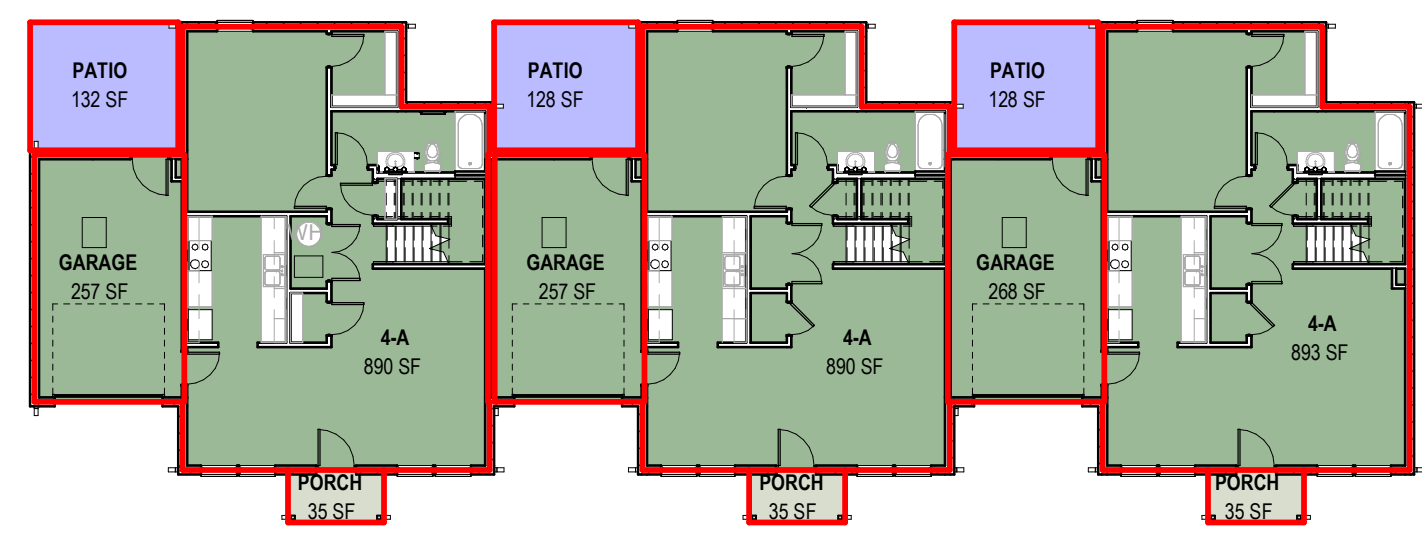


**5 PLAN** BUILDING TYPE III - FIRST FLOOR - GROSS AREA  
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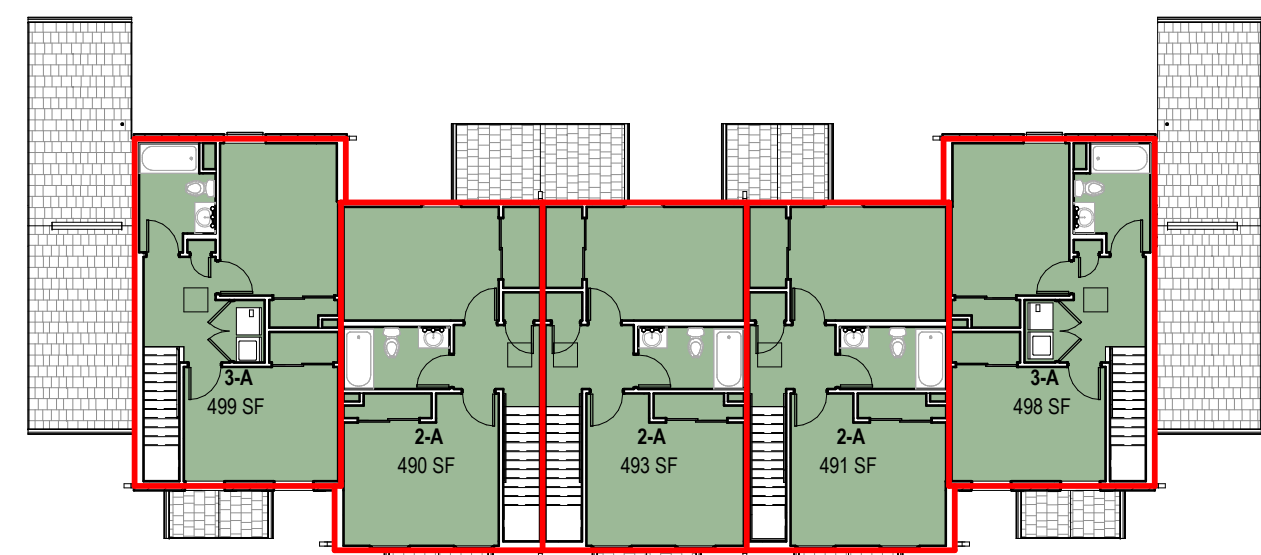
- C.A. PUBLIC
- PATIO
- PORCH
- PROGRAM SPACE
- RESIDENTIAL
- STORAGE
- SUPPORT



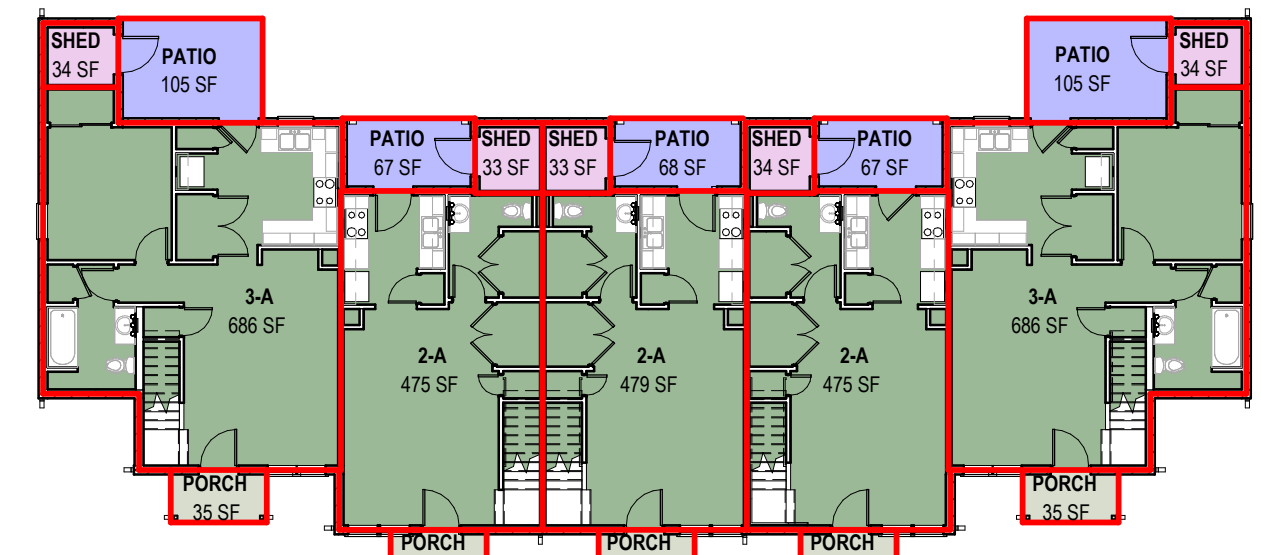
**10 PLAN** BUILDING TYPE V - SECOND FLOOR - GROSS AREA  
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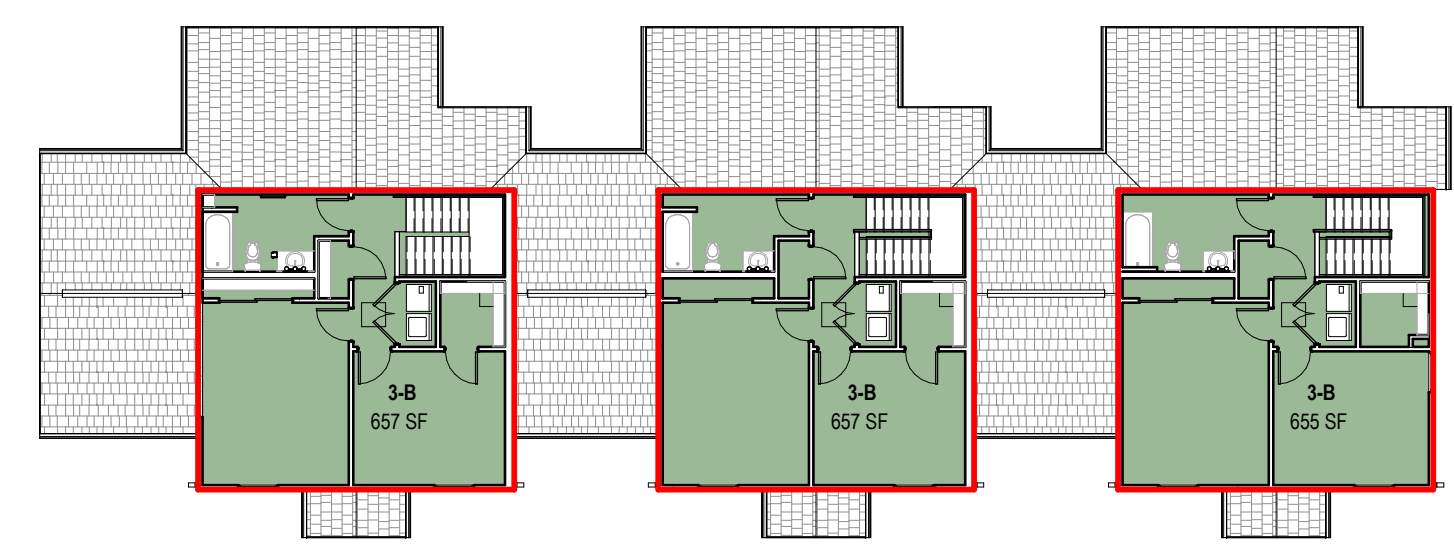
**9 PLAN** BUILDING TYPE V - FIRST FLOOR - GROSS AREA  
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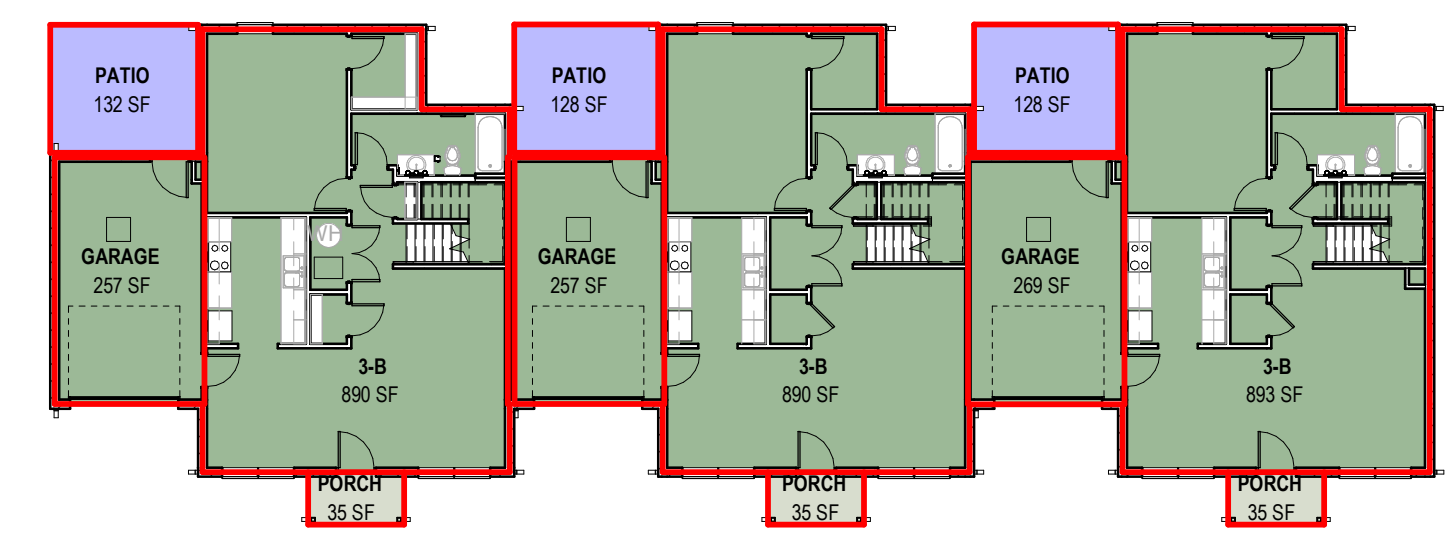
**4 PLAN** BUILDING TYPE II - SECOND FLOOR - GROSS AREA  
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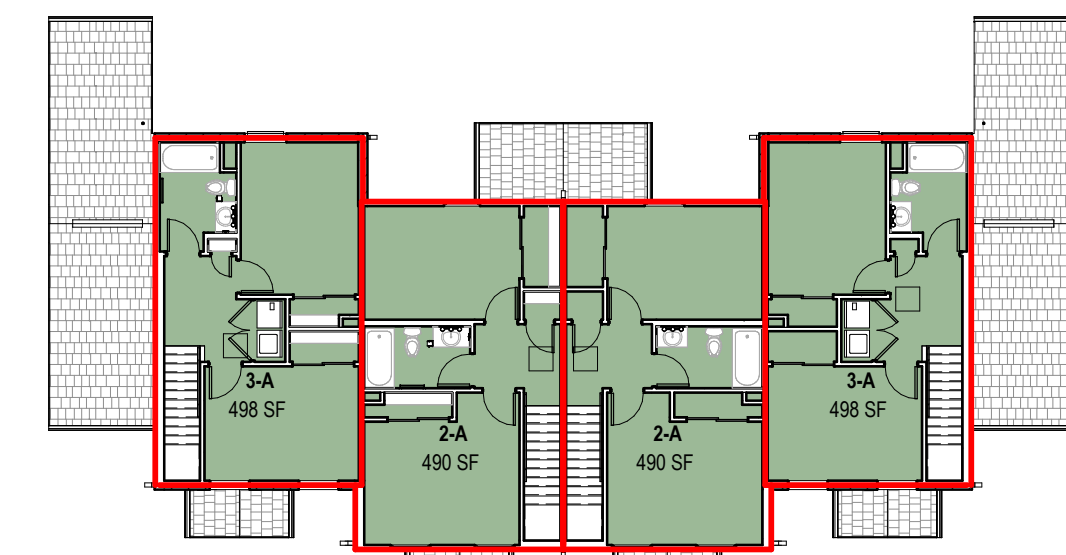
**3 PLAN** BUILDING TYPE II - FIRST FLOOR - GROSS AREA  
1/16" = 1'-0"



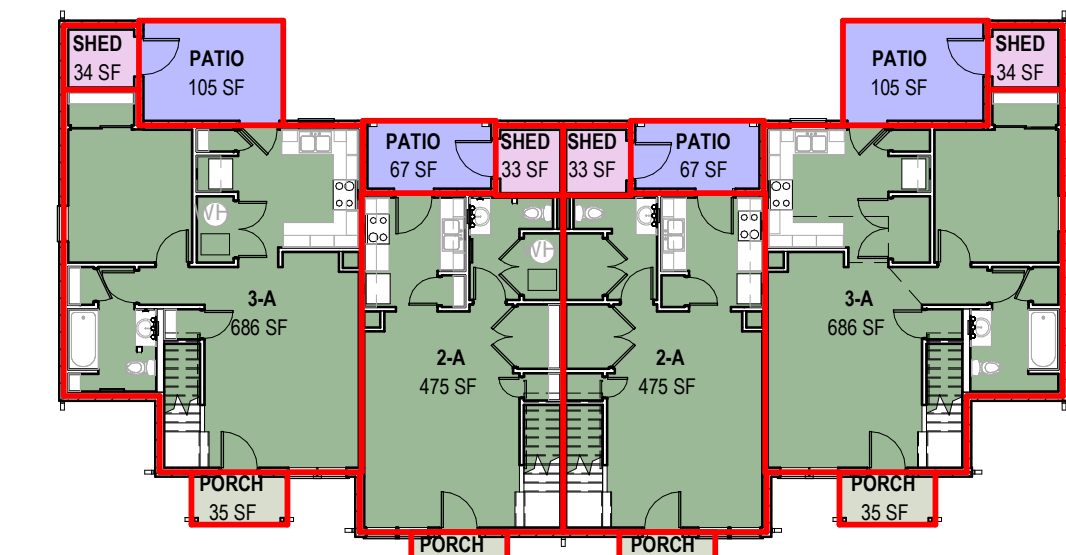
**8 PLAN** BUILDING TYPE IV - SECOND FLOOR - GROSS AREA  
1/16" = 1'-0"



**7 PLAN** BUILDING TYPE IV - FIRST FLOOR - GROSS AREA  
1/16" = 1'-0"



**2 PLAN** BUILDING TYPE I - SECOND FLOOR - GROSS AREA  
1/16" = 1'-0"



**1 PLAN** BUILDING TYPE I - FIRST FLOOR - GROSS AREA  
1/16" = 1'-0"

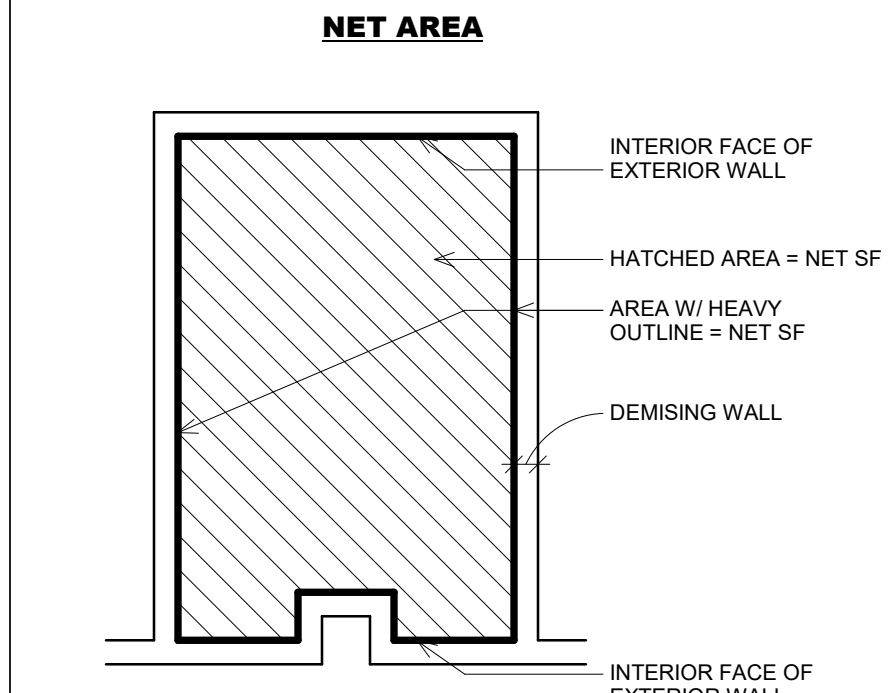
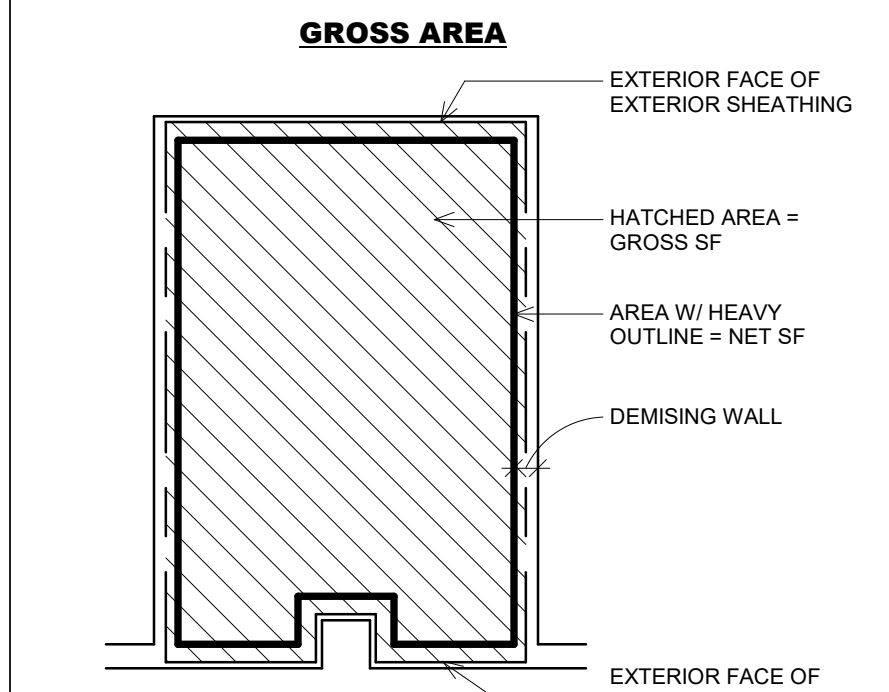
**GENERAL NOTES - AREA PLANS**

- A. REFER TO G SERIES SHEETS FOR AREA SUMMARIES BY BUILDING TYPE AND UNIT TYPE.
- B. REFER TO C SERIES SHEETS FOR EXISTING SITE PLAN AND SITE INFORMATION.

**AREA SCHEDULE (DEPARTMENT GROSS)**

DEPARTMENT	NAME	AREA	NO. OF BLDGS.	TOTAL AREA
<b>BUILDING TYPE I</b>				
PATIO	PATIO	344 SF	7	2,408 SF
PORCH	PORCH	140 SF	7	980 SF
RESIDENTIAL	2-A	1,330 SF	7	9,310 SF
RESIDENTIAL	3-A	2,307 SF	7	16,169 SF
STORAGE	SHED	133 SF	7	931 SF
<b>BUILDING TYPE II</b>				
PATIO	PATIO	412 SF	1	412 SF
PORCH	PORCH	175 SF	1	175 SF
RESIDENTIAL	2-A	2,903 SF	1	2,903 SF
RESIDENTIAL	3-A	2,369 SF	1	2,369 SF
STORAGE	SHED	167 SF	1	167 SF
<b>BUILDING TYPE III</b>				
PATIO	PATIO	553 SF	4	2,212 SF
PORCH	PORCH	210 SF	4	840 SF
RESIDENTIAL	2-A	1,930 SF	4	7,720 SF
RESIDENTIAL	3-A	4,796 SF	4	19,184 SF
STORAGE	SHED	201 SF	4	804 SF
<b>BUILDING TYPE IV</b>				
PATIO	PATIO	388 SF	4	1,552 SF
PORCH	PORCH	105 SF	4	420 SF
RESIDENTIAL	3-B	4,641 SF	4	18,564 SF
RESIDENTIAL	GARAGE	782 SF	4	3,128 SF
<b>BUILDING TYPE V</b>				
PATIO	PATIO	388 SF	2	776 SF
PORCH	PORCH	105 SF	2	210 SF
RESIDENTIAL	4-A	5,121 SF	2	10,242 SF
RESIDENTIAL	GARAGE	782 SF	2	1,564 SF
<b>BUILDING TYPE VI</b>				
PATIO	PATIO	327 SF	5	1,635 SF
PORCH	PORCH	140 SF	5	700 SF
RESIDENTIAL	2-A	965 SF	5	4,825 SF
RESIDENTIAL	2-B	912 SF	5	4,560 SF
RESIDENTIAL	3-A	2,399 SF	5	11,995 SF
STORAGE	SHED	134 SF	5	670 SF
<b>COMMUNITY CTR</b>				
C.A. PUBLIC	CONFERENCE ROOM	503 SF	1	503 SF
C.A. PUBLIC	CORRIDOR	116 SF	1	116 SF
C.A. PUBLIC	KITCHEN	56 SF	1	56 SF
C.A. PUBLIC	OFFICE	583 SF	1	583 SF
C.A. PUBLIC	STORAGE	51 SF	1	51 SF
C.A. PUBLIC	TOILET	103 SF	1	103 SF
PORCH	PORCH	256 SF	1	256 SF
PROGRAM SPACE	EARLY LEARNING CENTER	3,886 SF	1	3,886 SF
SUPPORT	MECH	200 SF	1	200 SF
SUPPORT	STORAGE	295 SF	1	295 SF
<b>MAINTENANCE BUILDING</b>				
SUPPORT	MAINTENANCE	848 SF	1	848 SF
<b>TOTAL</b>		<b>42,716 SF</b>		<b>138,923 SF</b>

**UNIT SQUARE FOOTAGE DIAGRAM**



#	DATE	CHANGE DESCRIPTION

**THE MEADOWS RAD RENOVATIONS**  
COLUMBUS METROPOLITAN HOUSING AUTHORITY  
4855 PINTAL CREEK DRIVE  
COLUMBUS, OH 43110  
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881  
CERTIFICATE NO. FIRM 00197475

**Moody Nolan**  
DRAWING TITLE: **AREA PLANS - GROSS**

05/12/2026  
DRAWN BY: xxx CHECKED BY: xxx  
18076.04  
**G006**  
BID SET  
JAY W. BOONE, LIC. # 10740  
EXP. DATE: 12/31/2027

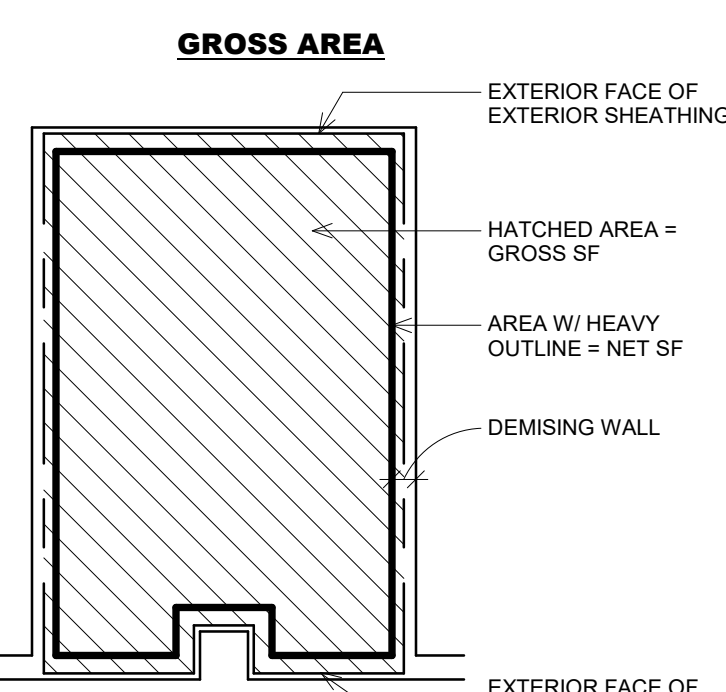
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**AREA PLAN SCHEDULE (BUILDING NET)**

DEPARTMENT	NAME	AREA	NO. OF BLDGS.	TOTAL AREA
<b>BUILDING TYPE I</b>				
PATIO	PATIO	312 SF	7	2,181 SF
PORCH	PORCH	127 SF	7	890 SF
RESIDENTIAL	2-A	1,821 SF	7	12,746 SF
RESIDENTIAL	3-A	2,216 SF	7	15,515 SF
STORAGE	SHED	106 SF	7	743 SF
<b>BUILDING TYPE II</b>				
PATIO	PATIO	371 SF	1	371 SF
PORCH	PORCH	159 SF	1	159 SF
RESIDENTIAL	2-A	2,738 SF	1	2,738 SF
RESIDENTIAL	3-A	2,214 SF	1	2,214 SF
STORAGE	SHED	133 SF	1	133 SF
<b>BUILDING TYPE III</b>				
PATIO	PATIO	506 SF	4	2,024 SF
PORCH	PORCH	191 SF	4	763 SF
RESIDENTIAL	2-A	1,821 SF	4	7,284 SF
RESIDENTIAL	3-A	4,491 SF	4	17,964 SF
STORAGE	SHED	163 SF	4	650 SF
<b>BUILDING TYPE IV</b>				
PATIO	PATIO	388 SF	4	1,550 SF
PORCH	PORCH	95 SF	4	381 SF
RESIDENTIAL	3-B	4,385 SF	4	17,541 SF
RESIDENTIAL	GARAGE	735 SF	4	2,939 SF
<b>BUILDING TYPE V</b>				
PATIO	PATIO	388 SF	2	776 SF
PORCH	PORCH	95 SF	2	191 SF
RESIDENTIAL	4-A	4,835 SF	2	9,671 SF
RESIDENTIAL	GARAGE	735 SF	2	1,469 SF
<b>BUILDING TYPE VI</b>				
PATIO	PATIO	299 SF	5	1,495 SF
PORCH	PORCH	127 SF	5	636 SF
RESIDENTIAL	2-A	903 SF	5	4,517 SF
RESIDENTIAL	2-B	871 SF	5	4,355 SF
RESIDENTIAL	3-A	2,255 SF	5	11,275 SF
STORAGE	SHED	107 SF	5	535 SF
<b>COMMUNITY CTR</b>				
C.A. PUBLIC	CONFERENCE ROOM	477 SF	1	477 SF
C.A. PUBLIC	CORRIDOR	108 SF	1	108 SF
C.A. PUBLIC	KITCHEN	53 SF	1	53 SF
C.A. PUBLIC	OFFICE	544 SF	1	544 SF
C.A. PUBLIC	STORAGE	44 SF	1	44 SF
C.A. PUBLIC	TOILET	93 SF	1	93 SF
PORCH	PORCH	233 SF	1	233 SF
PROGRAM SPACE	EARLY LEARNING CENTER	3,794 SF	1	3,794 SF
SUPPORT	MECH	183 SF	1	183 SF
SUPPORT	STORAGE	274 SF	1	274 SF
<b>MAINTENANCE BUILDING</b>				
SUPPORT	MAINTENANCE	806 SF	1	806 SF
<b>TOTAL</b>		<b>40,196 SF</b>		<b>130,315 SF</b>

**UNIT SQUARE FOOTAGE DIAGRAM**



#	DATE	CHANGE DESCRIPTION

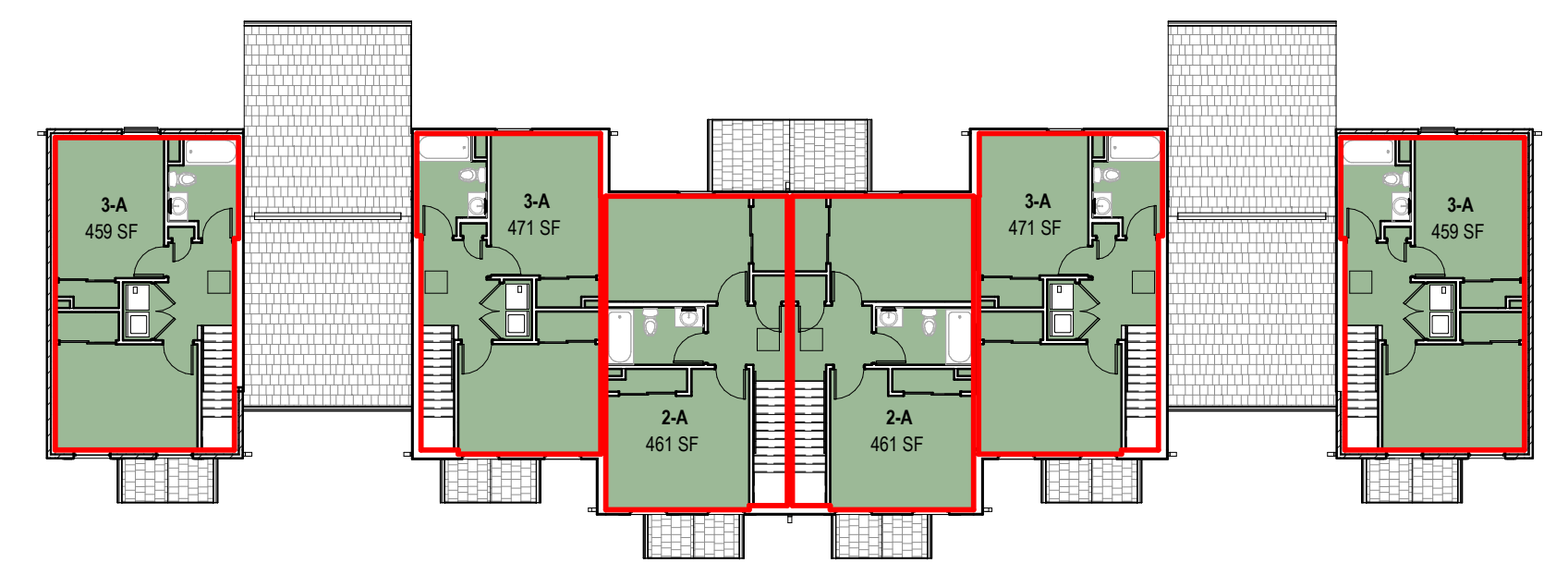
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 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4654  
 FAX: (614) 280-8881  
 CERTIFICATE NO: FIRM 00197475

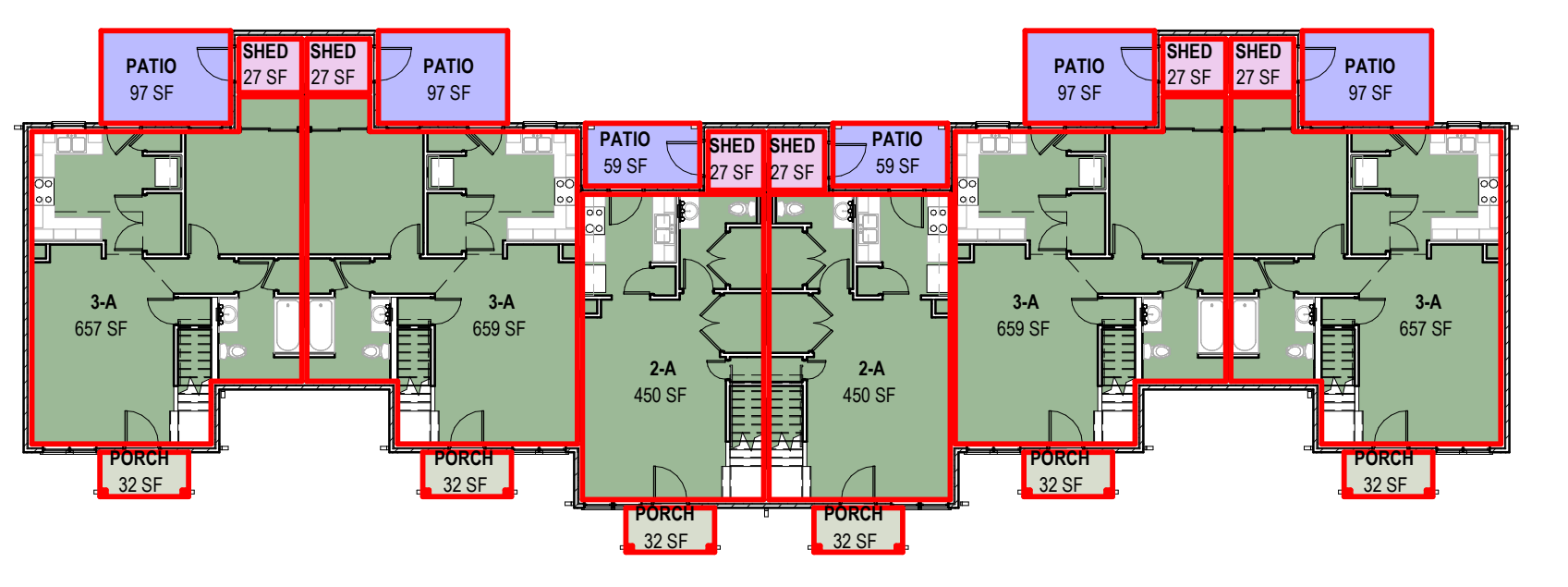
**AREA PLANS - NET**

05/12/2026  
 DRAWN BY: xxx CHECKED BY: xxx  
 18076.04  
**G007**  
 BID SET

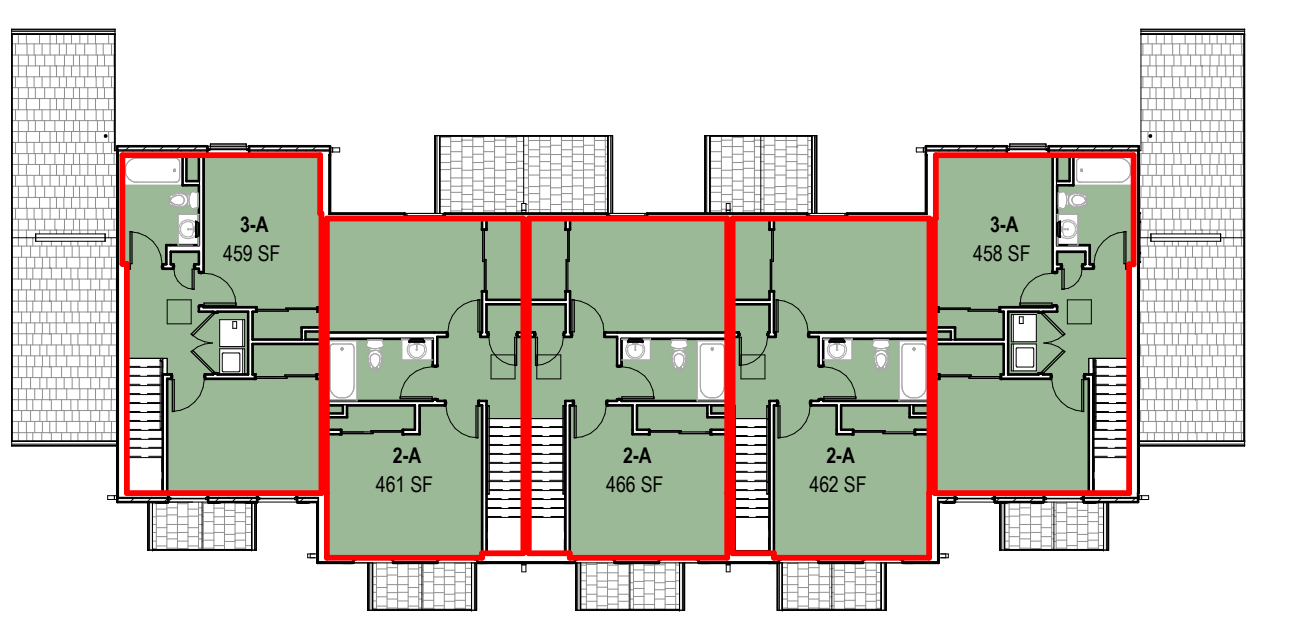
- C.A. PUBLIC
- PATIO
- PORCH
- PROGRAM SPACE
- RESIDENTIAL
- STORAGE
- SUPPORT



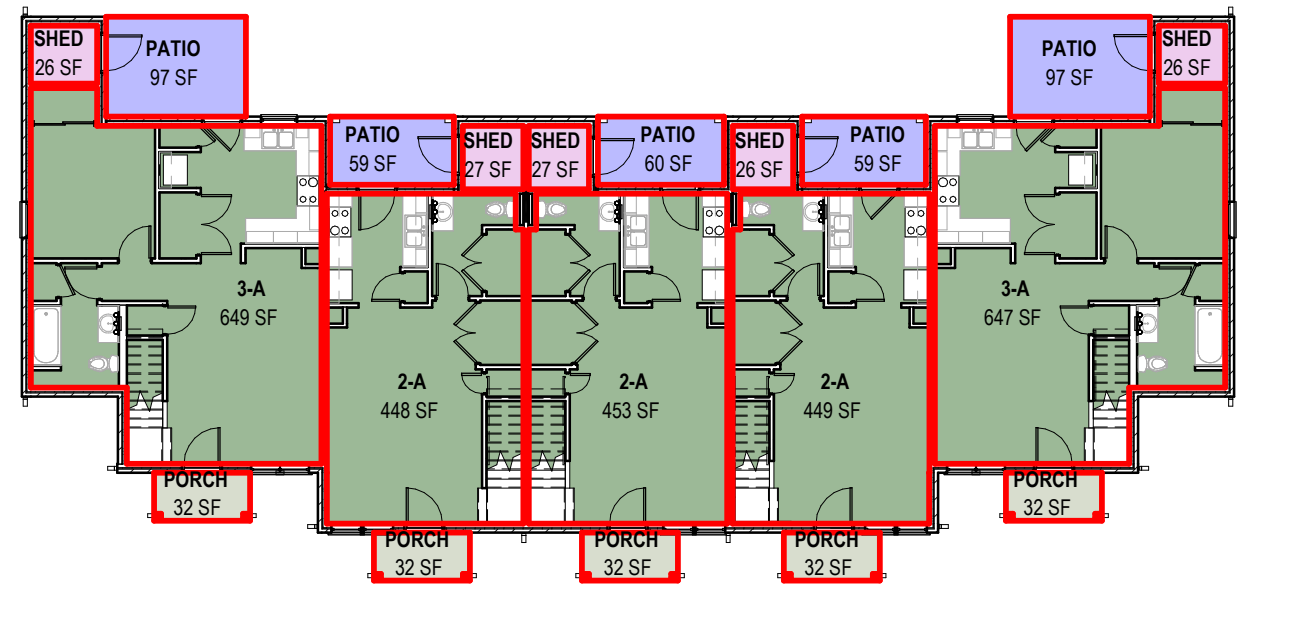
**6 PLAN** BUILDING TYPE III - SECOND FLOOR NET AREA  
 1/16" = 1'-0"



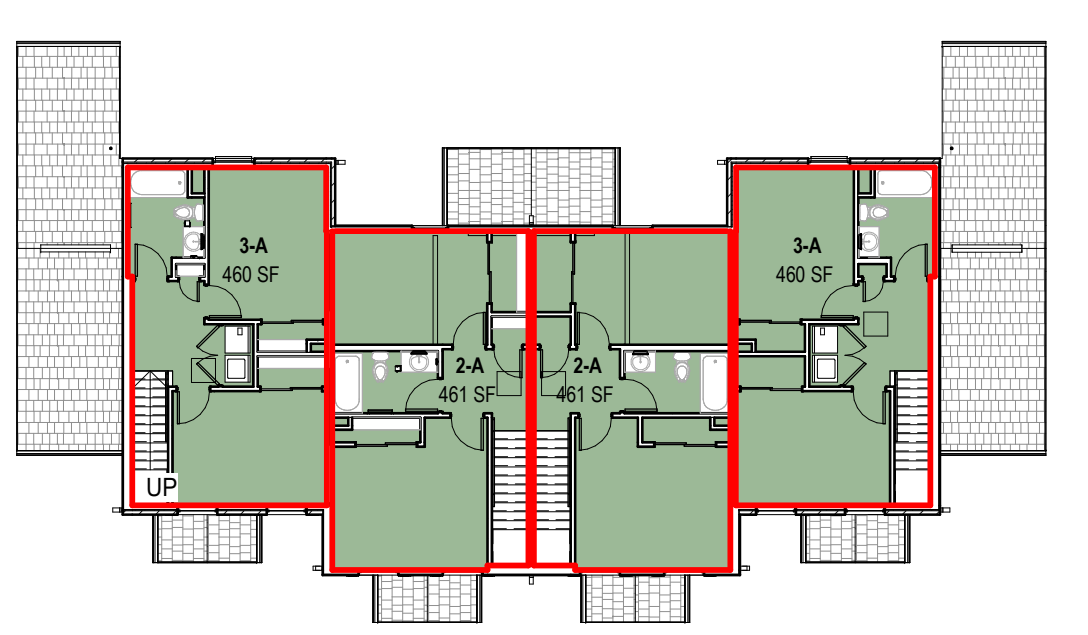
**5 PLAN** BUILDING TYPE III - FIRST FLOOR NET AREA  
 1/16" = 1'-0"



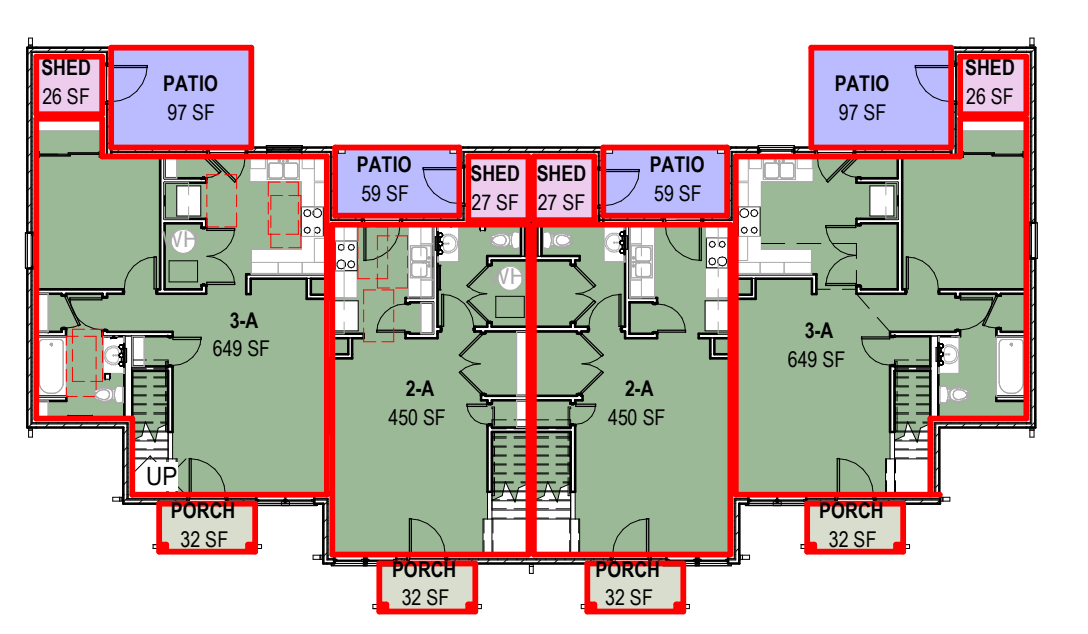
**4 PLAN** BUILDING TYPE II - SECOND FLOOR NET AREA  
 1/16" = 1'-0"



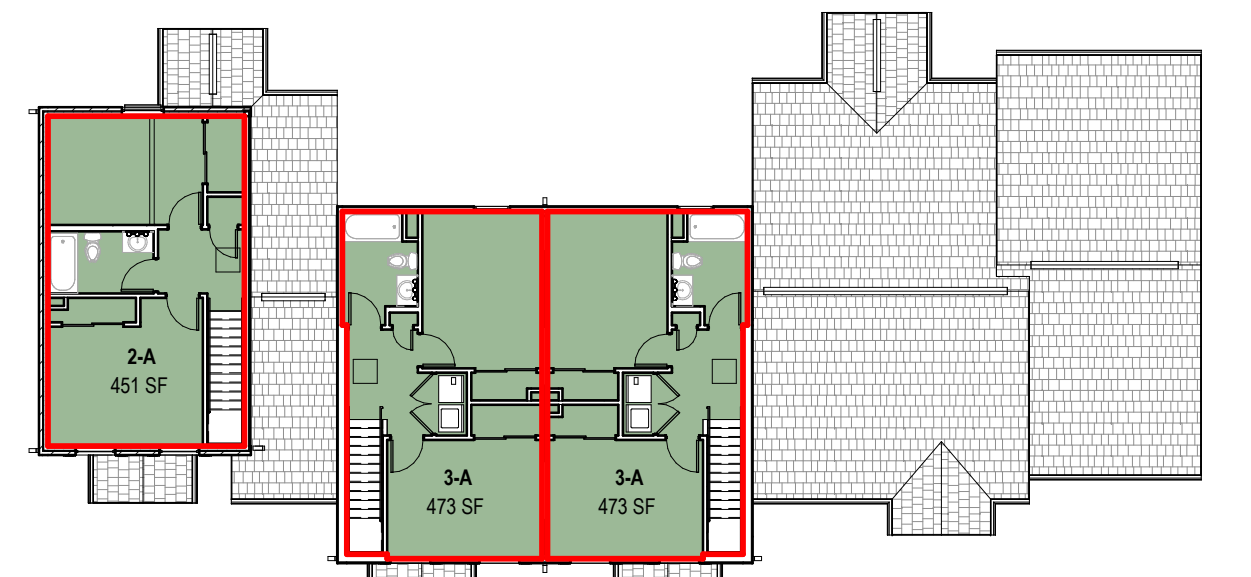
**3 PLAN** BUILDING TYPE II - FIRST FLOOR NET AREA  
 1/16" = 1'-0"



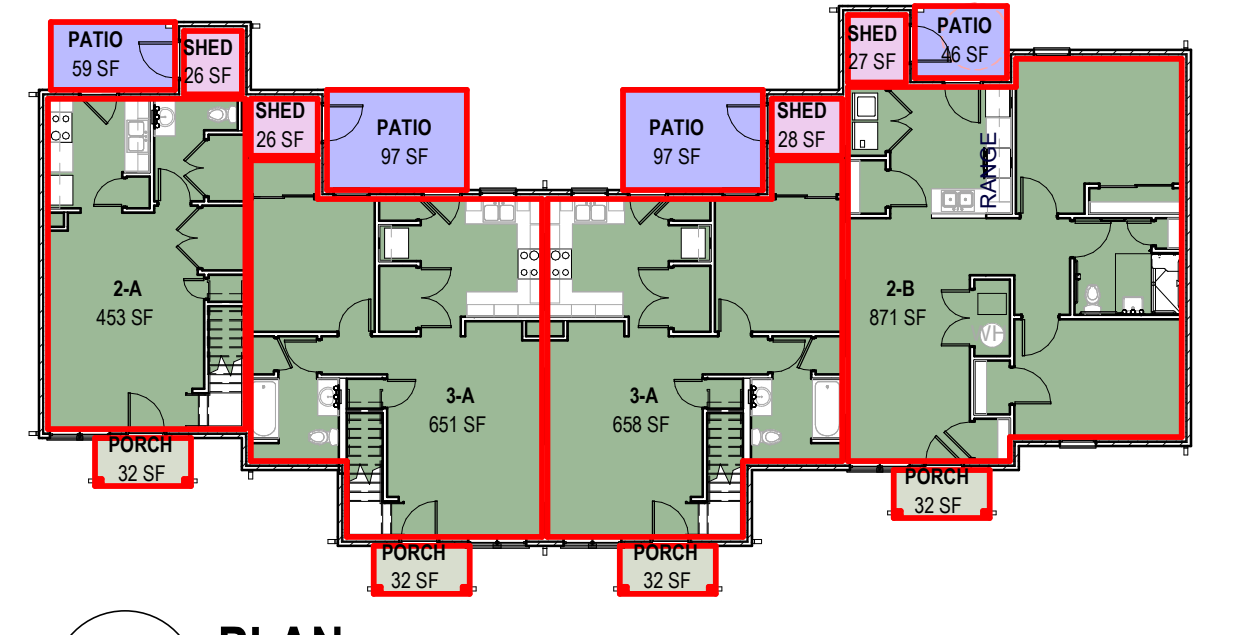
**2 PLAN** BUILDING TYPE I - SECOND FLOOR NET AREA  
 1/16" = 1'-0"



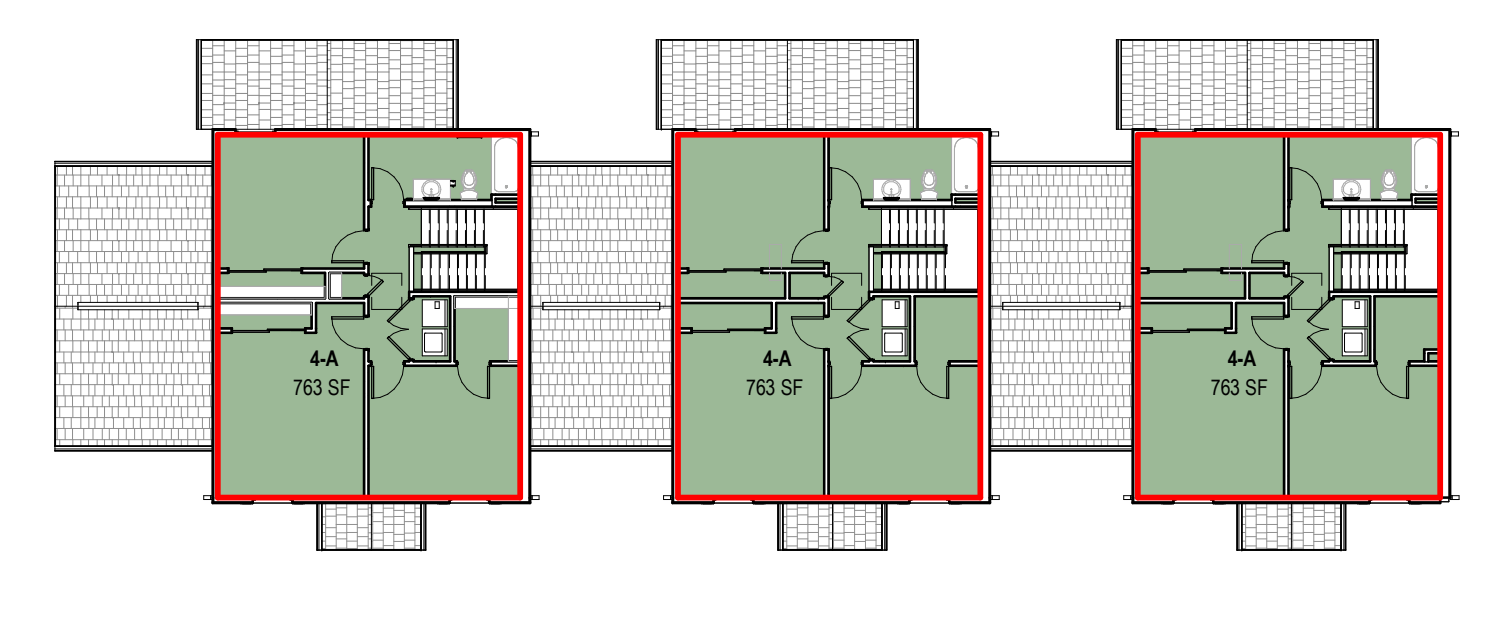
**1 PLAN** BUILDING TYPE I - FIRST FLOOR NET AREA  
 1/16" = 1'-0"



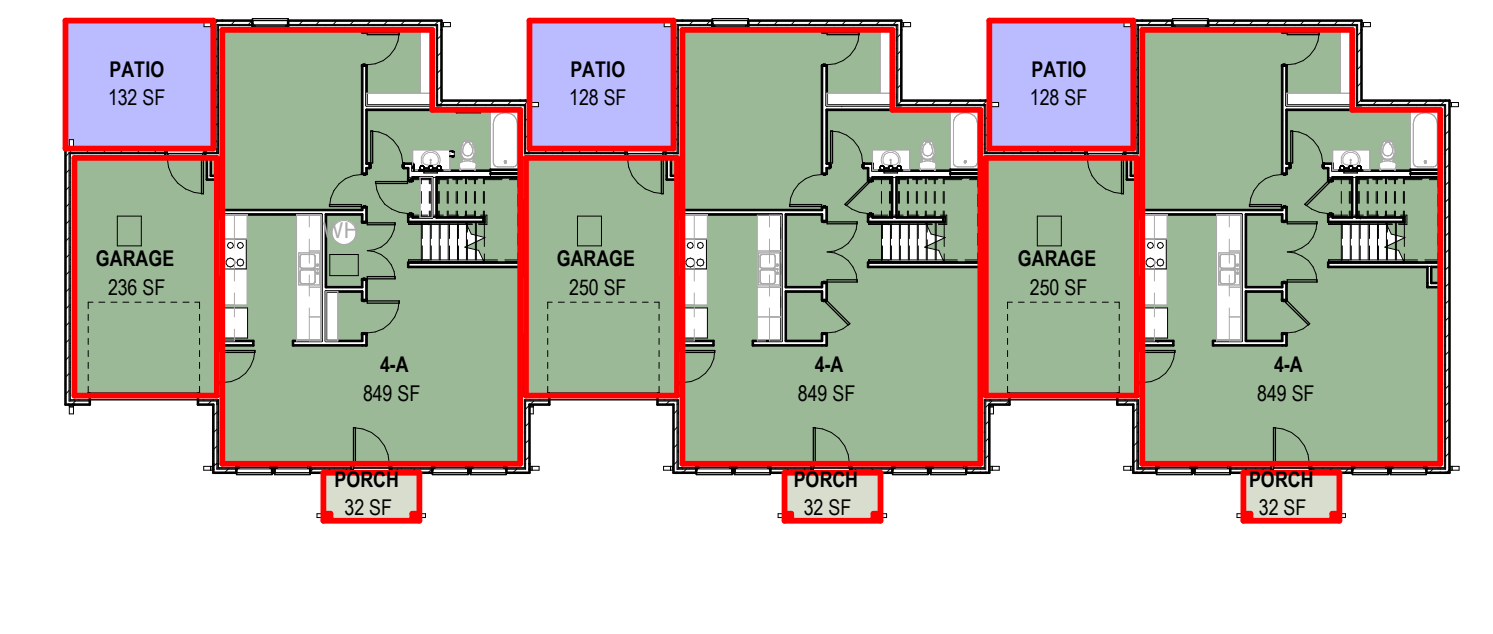
**12 PLAN** BUILDING TYPE VI - SECOND FLOOR NET AREA  
 1/16" = 1'-0"



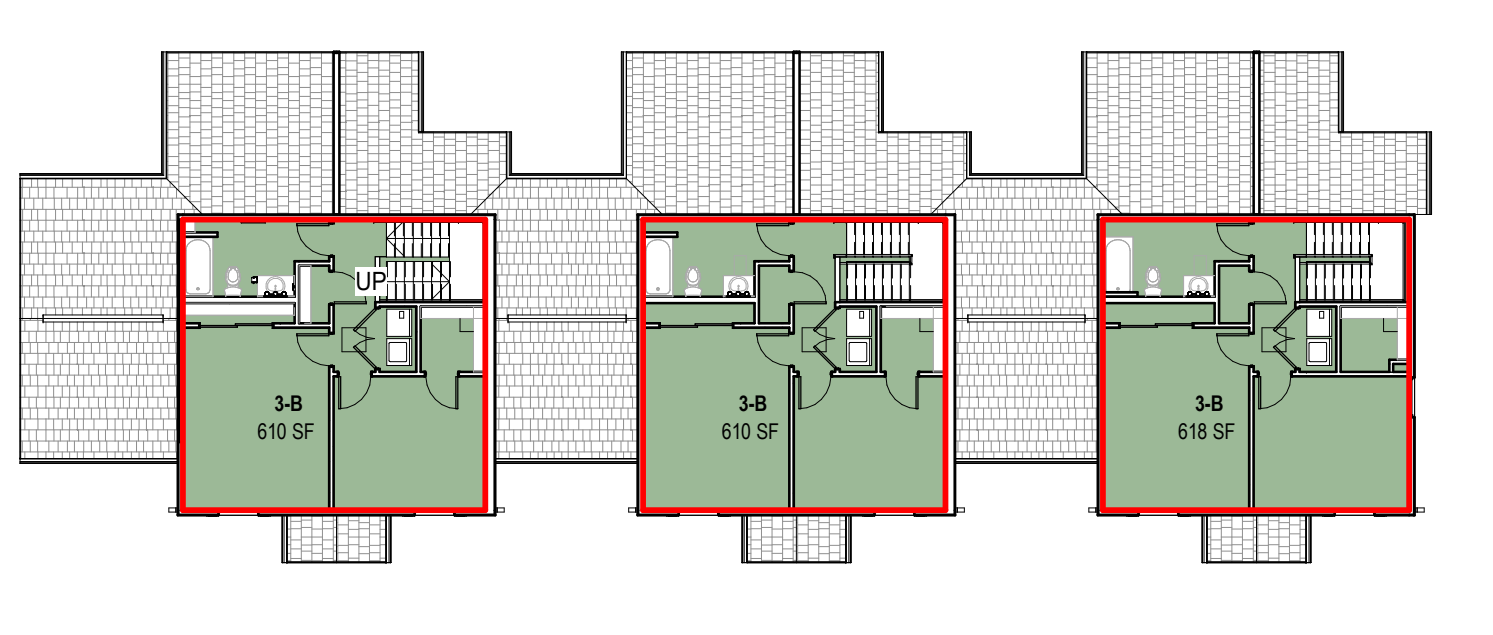
**11 PLAN** BUILDING TYPE VI - FIRST FLOOR NET AREA  
 1/16" = 1'-0"



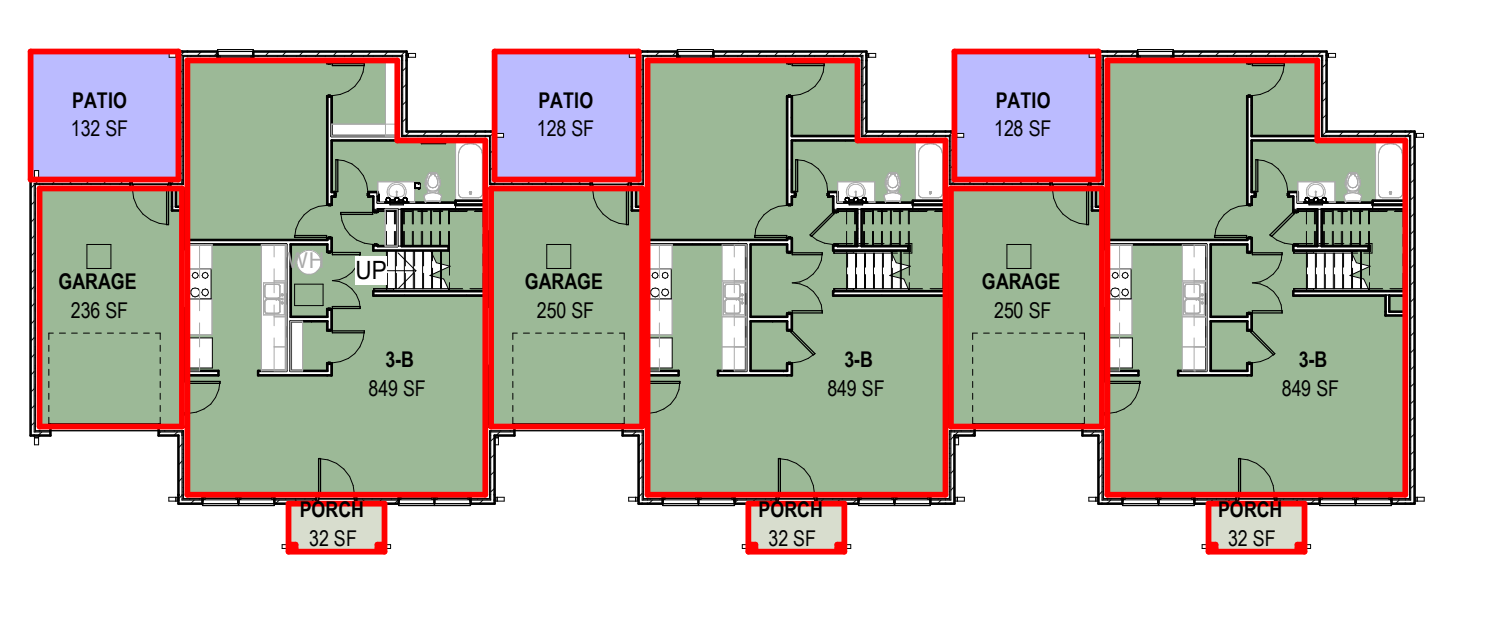
**10 PLAN** BUILDING TYPE V - SECOND FLOOR NET AREA  
 1/16" = 1'-0"



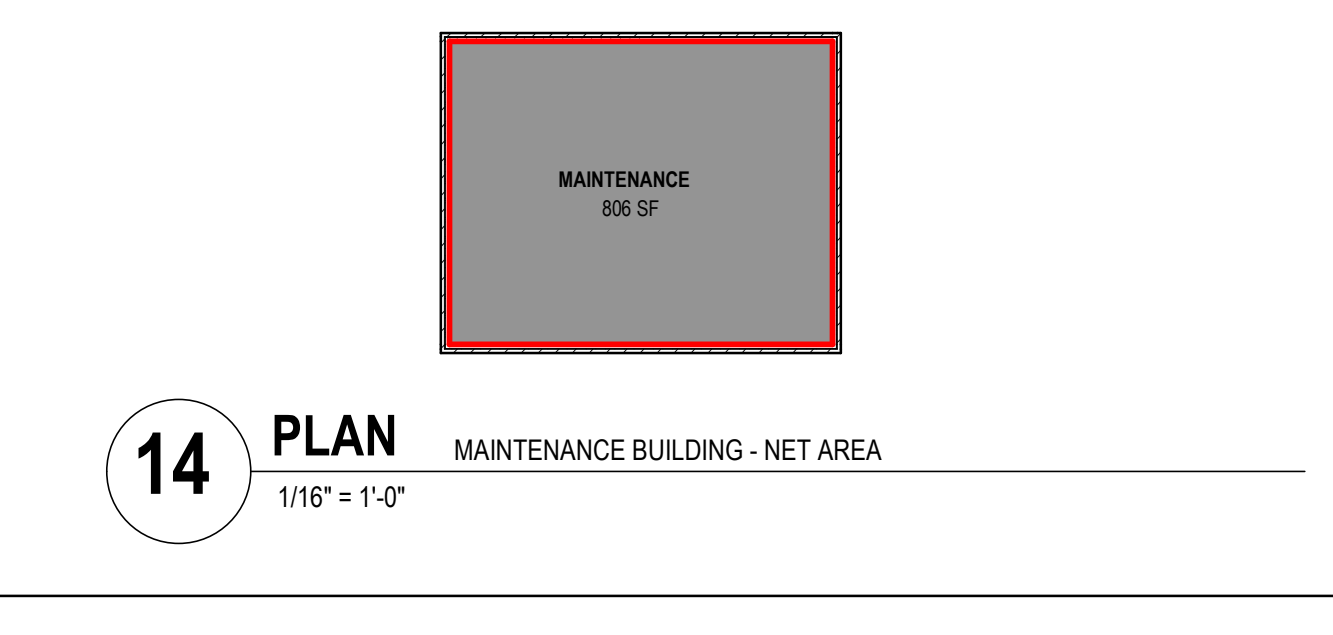
**9 PLAN** BUILDING TYPE V - FIRST FLOOR NET AREA  
 1/16" = 1'-0"



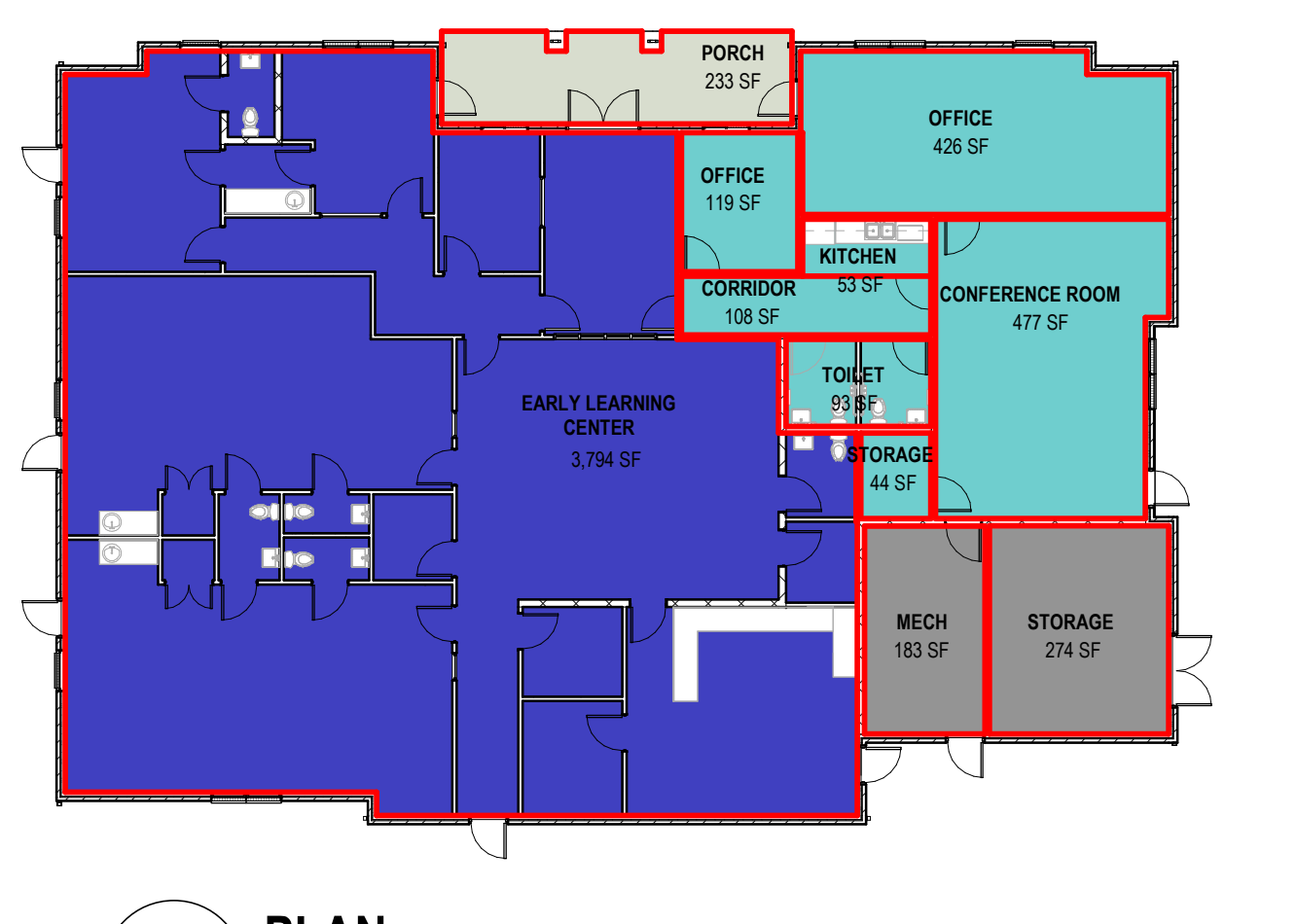
**8 PLAN** BUILDING TYPE IV - SECOND FLOOR NET AREA  
 1/16" = 1'-0"



**7 PLAN** BUILDING TYPE IV - FIRST FLOOR NET AREA  
 1/16" = 1'-0"



**14 PLAN** MAINTENANCE BUILDING - NET AREA  
 1/16" = 1'-0"



**13 PLAN** COMMUNITY CENTER - NET AREA  
 1/16" = 1'-0"



[wagne@wdg.net] D:\Project\2018\180037\Drawing\Bose.dwg -- October 17, 2018 @ 1:22pm



CW Design Group  
ENGINEERS | SURVEYORS

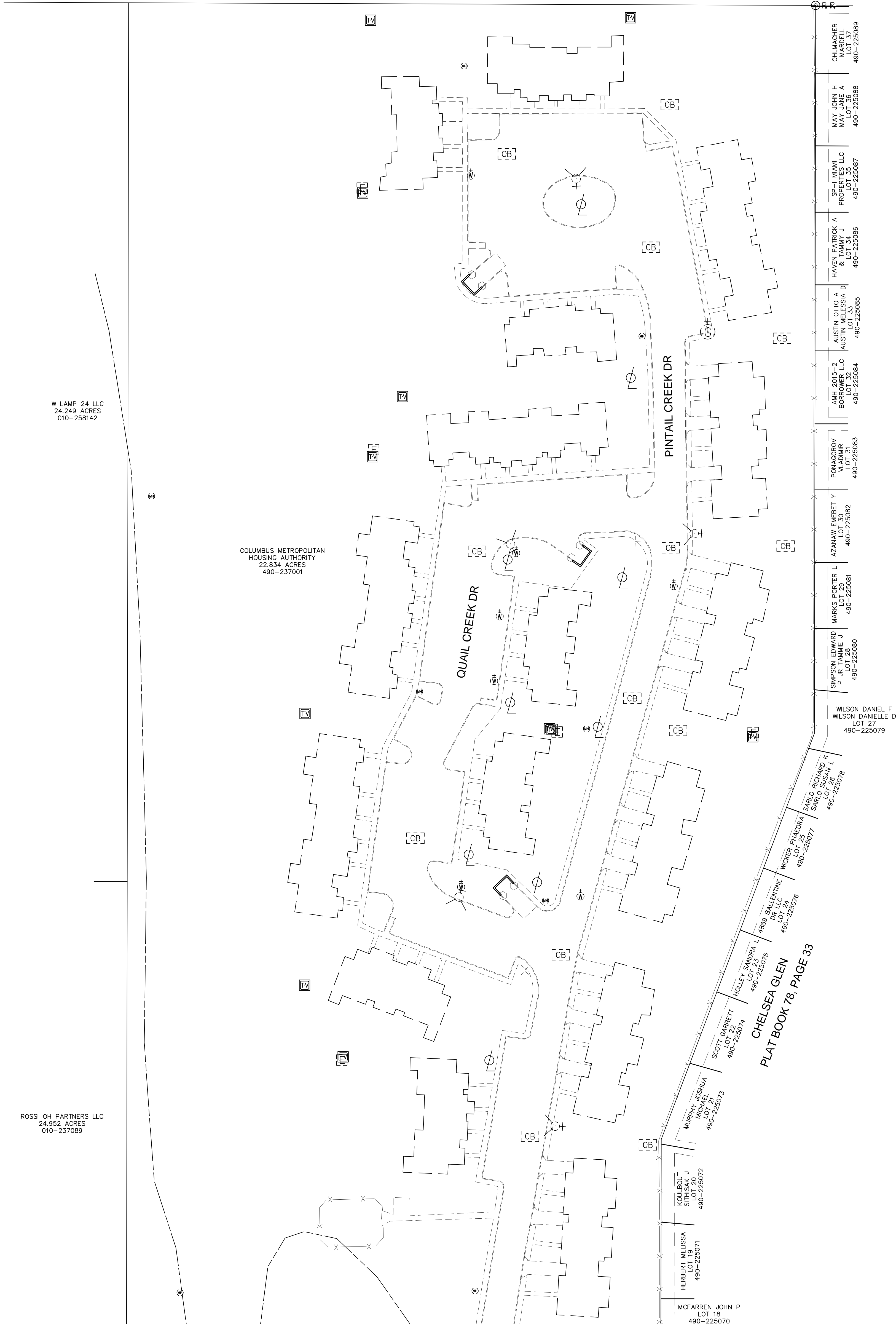
PHONE: 614-846-9279  
972 Linkfield Drive  
Worthington, Ohio 43085

ROSSI OH PARTNERS LLC  
24.952 ACRES  
010-237089

W LAMP 24 LLC  
24.249 ACRES  
010-258142

COLUMBUS METROPOLITAN  
HOUSING AUTHORITY  
22.834 ACRES  
490-257001

WORLD HARVEST CHURCH INC  
63.1292 ACRES  
181-000079



MATCHLINE, SEE PREVIOUS SHEET

THE MEADOWS

PRELIMINARY ALTA EXHIBIT

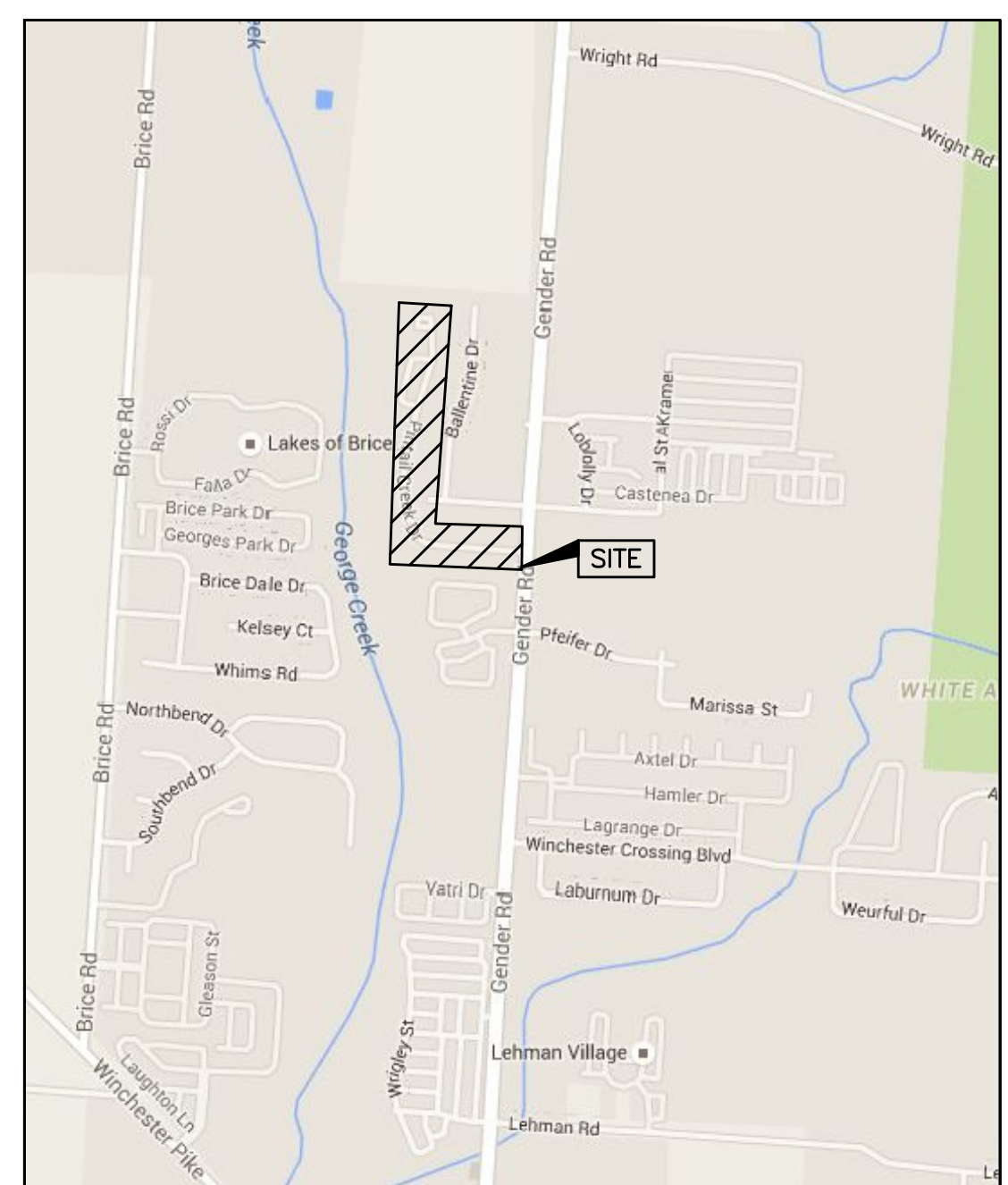
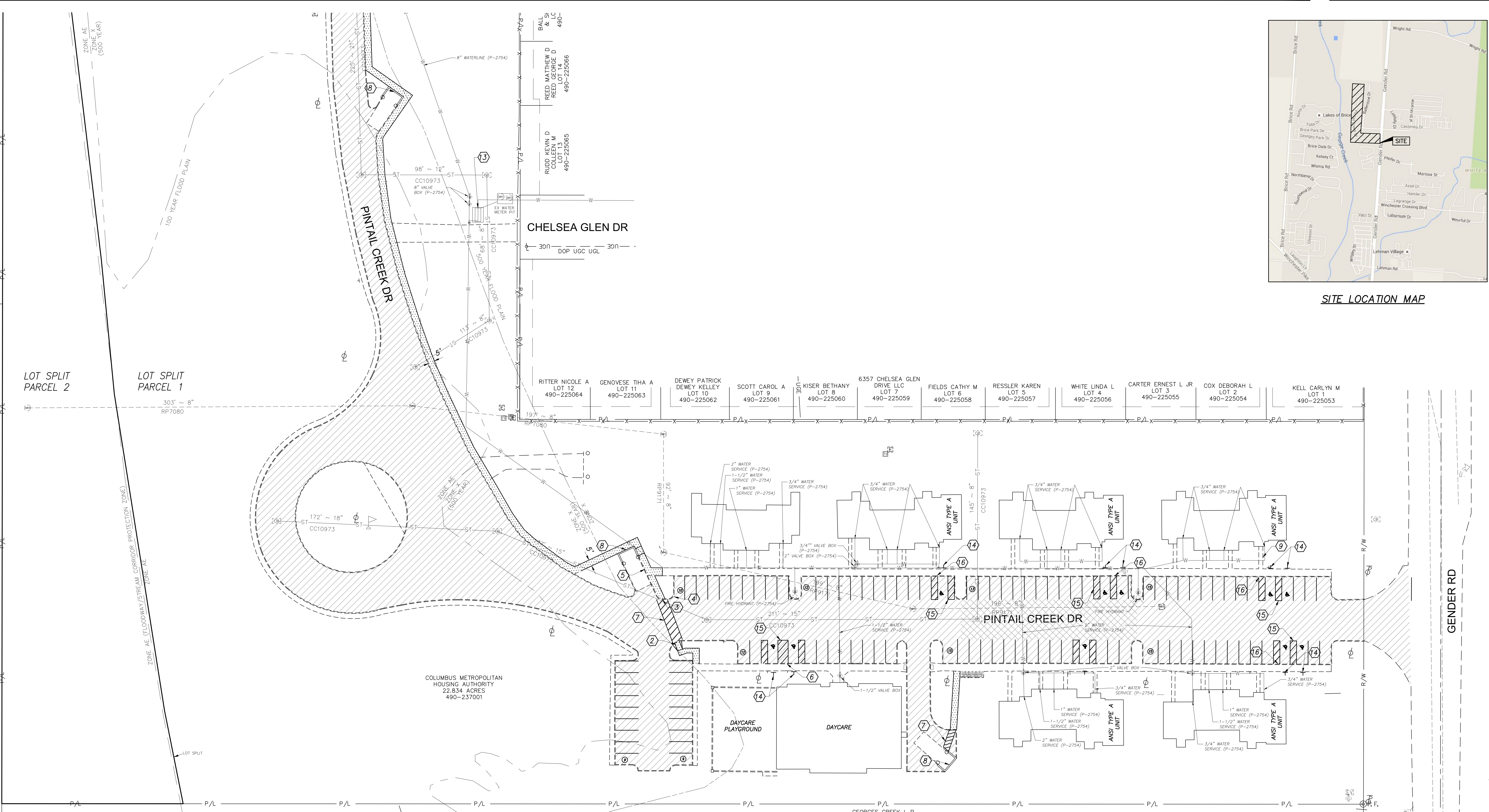
2  
2

DESIGNED  
DW

CHECKED

HORIZONTAL SCALE IN FEET

0 20 40 60



SITE LOCATION MAP

**PROPERTY PARCEL**  
490-237001

**PARKING DATA**  
228 SPACES (13 HANDICAPPED)  
PARKING REQUIRED  
95 UNITS X 1.5 SPACES=143 SPACES REQUIRED

**SITE DATA TABLE**  
TOTAL SITE AREA: 22.83 ACRES  
TOTAL DISTURBED AREA: 6944 SF  
DISTURBED IMPERVIOUS AREA: 3,324 SF  
PRE-DEVELOPED IMPERVIOUS: 3,324 SF  
POST-DEVELOPED IMPERVIOUS: 5,207 SF

**PROJECT ZONING INFORMATION**

- PROJECT:** Meadows  
**CERTIFIED SITE ADDRESS:** Not Applicable  
**OWNER:** Columbus Metropolitan Housing Authority  
**OWNER CONTACT:** Mike Wagner, Vice President of Design and Construction, (614) 421-6102, mwagner@cmhanet.com
- AREA PER USE:**
- A. SITE PLAN: As Shown
  - B. SITE LOCATION MAP: As Shown
  - C. ZONING DISTRICT: 279-086, Multi-family, AR12 effective 7/16/1980, Height District H-35
  - D. AREA PER USE:
  - E. BUILDING HEIGHT:
  - F. FLOOD DESIGNATION: Some of this site is located within a special flood hazard area, which is zone AE and zone X, per the Federal Emergency Management Agency's Flood Insurance Rate Map, No. 39049C0364K, June 17, 2008.
  - G. DUMPSTER SCREENS: N/A-Existing
  - H. The proposed project will comply with the following Sections of the City of Columbus Codes:
    - 3321.01 Dumpster
    - 3321.07 Landscape
    - 3321.03 Lighting
    - 3312.21 Screens
    - 3312.39 Striping/Marking
    - 3312.43 Surface
    - 3312.45 Wheel Stops/Curbs

**CODED NOTES**

1. EXISTING DRIVEWAY TO BE RESEALED
2. PROPOSED CURB RAMP, SEE DETAIL SHEET 301
3. PROPOSED FLUSH SIDEWALK
4. TRANSITION CURB 0" TO 6" (TO MATCH EX.) OVER 2'
5. FLUSH WALK
6. PROPOSED PARALLEL RAMP, SEE DETAIL SHEET 301.
7. PAINT STRIPED CROSSWALK
8. EXISTING DUMPSTERS
9. REPLACE WALK TO UNIT
10. REMOVE EXISTING FENCE AND MULCH AND REPLACE COORDINATING EXTENTS WITH EQUIPMENT PROVIDER. PROVIDE NEW POURED PLAY SURFACE AND PROVIDE AND INSTALL NEW TRASH RECEPTACLE TO MATCH EXISTING BENCHES.
11. EXISTING CONCRETE PAD AND BENCHES TO REMAIN
12. EXISTING PLAYGROUND
13. PROPOSED HOT BOX, INSTALL PER WSP2754
14. HANDICAPPED PARKING SIGN
15. HANDICAPPED PARKING STRIPING
16. ALIGN HANDICAPPED ACCESS AISLES WITH EXISTING FLUSH CURB

**NOTES:**

1. PROVIDE 3" SDR 35 ROOF LEADERS FROM ALL FRONT DOWNSPOUTS SERVING THE MAIN ROOF TO THE CURB. WHERE THERE IS FLUSH WALK IN FRONT OF A DOWNSPOUT, TIE TO THE NEXT ADJACENT LINE THAT CAN OUTLET TO THE CURB, UNLESS A DIRECT CATCH BASIN TIE IN IS INDICATED ON PLAN. PROVIDE ADAPTER PER SHEET C301. PROVIDE CONCRETE SPLASH BLOCKS FOR ALL DOWNSPOUTS SERVING PORCHES
2. THE ABOVE DISTURBANCE IS UNDER THE DE-MINIMIS REQUIREMENTS FOR DETENTION OF CREATING 10,000 SQ.FT. OR LESS OF IMPERVIOUS AREA DISTURBANCE AND/OR NOT CREATING MORE THAN 2,000 SQ.FT. OF NEW, NET IMPERVIOUS AREA. HOWEVER, FOR ANY FUTURE DEVELOPMENTS ON THIS SITE, THE ABOVE DISTURBANCE WILL BE ADDED TO ANY NEW DISTURBANCE PROPOSED, AND HENCE ALL DEVELOPMENT WILL BE CUMULATIVE.
3. FOLLOWING MILL AND OVERLAY, PARKING LOT IS TO BE RE-STRIPED PER PLAN
4. CONTRACTOR IS TO CONFIRM GRADES AT PROPOSED HANDICAPPED RAMP LOCATIONS. IF ADA SLOPES CANNOT BE OBTAINED AT THE LOCATION CALLED FOR, COORDINATE WITH ARCHITECT/ENGINEER TO ADJUST HC PARKING/RAMP LOCATIONS
5. IN BASE BID PROVIDE 100 SF OF FULL DEPTH PAVING IN ADDITION TO WHAT IS SHOWN IN PLANS TO BE USED ON SITE AT THE DIRECTION OF THE OWNER/ARCHITECT

**DIVISION OF POWER NOTE**

THE DIVISION OF POWER (DOP) MAY HAVE OVERHEAD AND UNDERGROUND PRIMARY, SECONDARY, AND STREET LIGHTING AT THIS WORK LOCATION. THE CONTRACTOR IS HEREBY REQUIRED TO CONTACT CUPS AT 811 OR 1-800-369-2764 FORTY-EIGHT HOURS PRIOR TO CONDUCTING ANY ACTIVITY WITHIN THE CONSTRUCTION AREA.

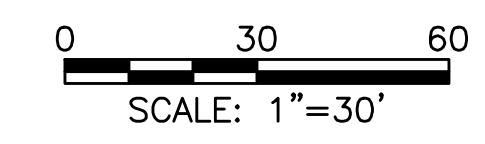
ANY REQUIRED RELOCATION, SUPPORT, PROTECTION OR ANY OTHER ACTIVITY CONCERNED WITH THE CITY'S ELECTRICAL FACILITIES IN THE CONSTRUCTION AREA IS TO BE PERFORMED BY THE CONTRACTOR UNDER THE DIRECTION OF DOP PERSONNEL AND AT THE EXPENSE OF THE PROJECT. DOP SHALL MAKE ALL FINAL CONNECTIONS TO DOP'S EXISTING ELECTRICAL SYSTEM AT THE EXPENSE OF THE PROJECT. THE CONTRACTOR SHALL USE MATERIAL AND MAKE REPAIRS TO A CITY OF COLUMBUS STREET LIGHTING SYSTEM BY FOLLOWING DOP'S "MATERIAL AND INSTALLATION SPECIFICATIONS" (MIS) AND THE CITY OF COLUMBUS "CONSTRUCTION AND MATERIAL SPECIFICATIONS" (CMS). UNDERGROUND STREETLIGHT SYSTEM SHALL REQUIRE TESTING AS REFERRED TO IN SECTION 1000.18 OF THE CMSC MANUAL. THE CONTRACTOR SHALL CONFORM TO DOP'S EXISTING STREET LIGHT LOCKOUT/TAGOUT (LOTO) PROCEDURE, MIS-1, COPIES OF WHICH ARE AVAILABLE FROM DOP.

IF ANY ELECTRICAL FACILITY BELONGING TO DOP IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SERVANTS, OR EMPLOYEES AND REQUIRES EMERGENCY REPAIRS, THE DOP DISPATCH OFFICE SHOULD BE CONTACTED IMMEDIATELY AT (614) 645-7627. DOP SHALL MAKE ALL NECESSARY REPAIRS AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY THE CONTRACTOR TO THE DIVISION OF POWER, CITY OF COLUMBUS, OHIO.

**DIVISION OF WATER NOTE**

PROPOSED HOT BOX AND BACKFLOW PREVENTER ON 8" SERVICE ARE TO BE INSTALLED UNDER AN APPROVED ADDENDUM TO WSP2754.

- LEGEND**
- 1 1/2" ASPHALT MILL AND OVERLAY
  - PROPOSED CONCRETE WALK
  - FULL DEPTH ASPHALT REPLACEMENT



Final Site Compliance Plan #23345-00180			
DPS Improvements in the Right-of-Way		No DPS Improvements in the Right-of-Way	Other associated plans
Install	OK	Not OK	Not OK
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

#	DATE	CHANGE DESCRIPTION

**THE MEADOWS RAD RENOVATIONS**  
8855 PINTAIL CREEK DRIVE  
COLUMBUS, OH 43111  
FOR  
**COLUMBUS METROPOLITAN HOUSING AUTHORITY**

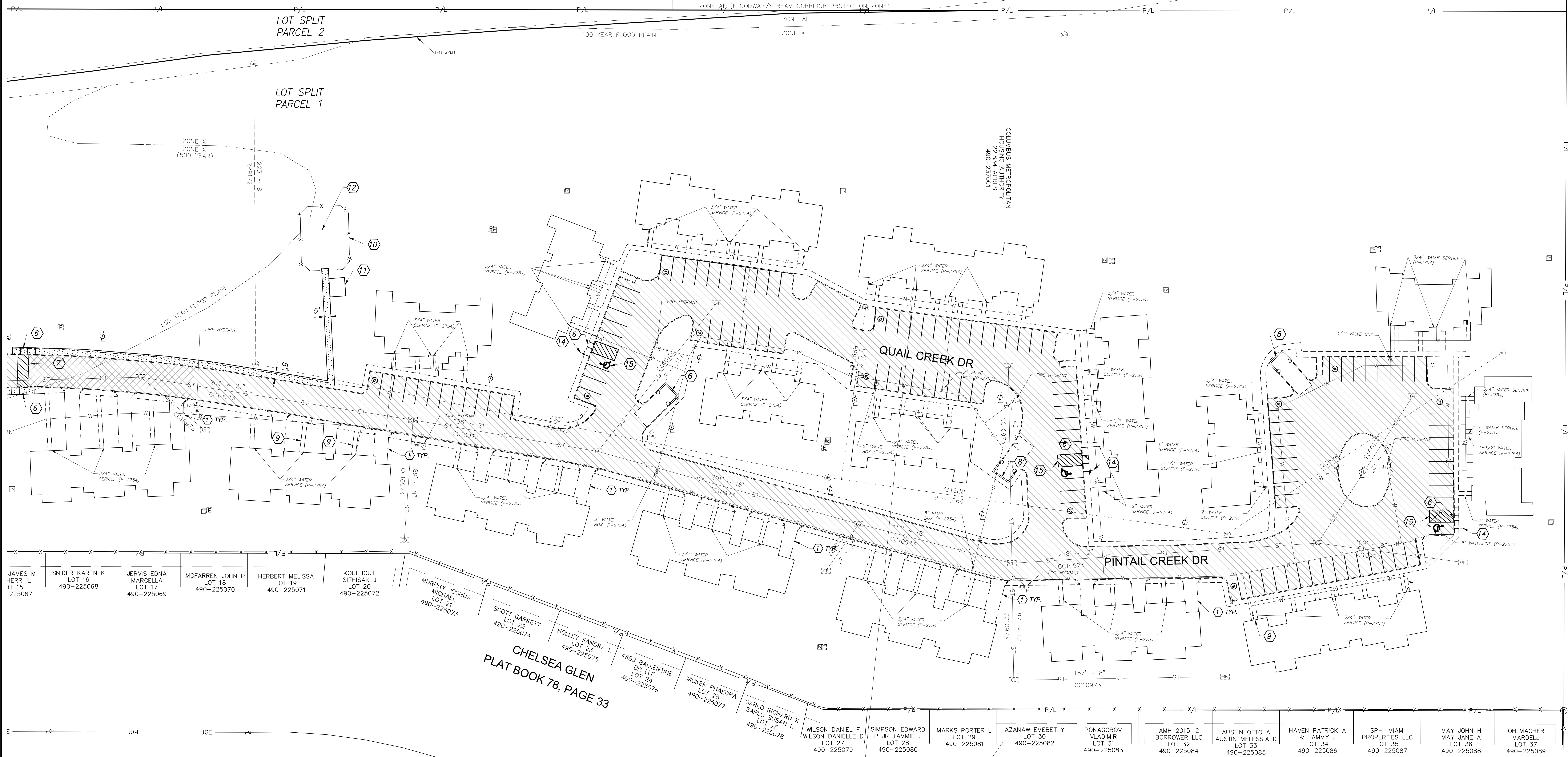
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881  
CERTIFICATE NO. FIRM 00197475

**Moody Nolan**

DRAWING TITLE:  
**FINAL SITE COMPLIANCE PLAN**

05/12/2026  
DRAWN BY: XXXX CHECKED BY: MSL  
18076.04  
**C101**  
BID SET

STATE OF OHIO  
MARK LARRIMER  
69331  
REGISTERED PROFESSIONAL ENGINEER  
No. 10810  
Mark Larrimer



**CODED NOTES**

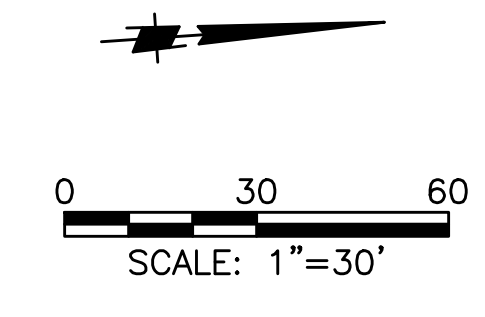
- EXISTING DRIVEWAY TO BE RESEALED
- PROPOSED CURB RAMP, SEE DETAIL SHEET 301
- PROPOSED FLUSH SIDEWALK
- TRANSITION CURB 0" TO 6" (TO MATCH EX.) OVER 2"
- FLUSH WALK
- PROPOSED PARALLEL RAMP, SEE DETAIL SHEET 301
- PAINT STRIPED CROSSWALK
- EXISTING DUMPSTERS
- REPLACE WALK TO UNIT
- REMOVE EXISTING FENCE AND MULCH AND REPLACE COORDINATING EXTENTS WITH EQUIPMENT PROVIDER. PROVIDE NEW POURED PLAY SURFACE AND PROVIDE AND INSTALL NEW TRASH RECEPTACLE TO MATCH EXISTING BENCHES.
- EXISTING CONCRETE PAD AND BENCHES TO REMAIN
- EXISTING PLAYGROUND
- PROPOSED HOT BOX, INSTALL PER WSP2754
- HANDICAPPED PARKING SIGN
- HANDICAPPED PARKING STRIPING
- ALIGN HANDICAPPED ACCESS AISLES WITH EXISTING FLUSH CURB

**NOTES:**

- PROVIDE 3" SDR 35 ROOF LEADERS FROM ALL FRONT DOWNSPOUTS SERVING THE MAIN ROOF TO THE CURB. WHERE THERE IS FLUSH WALK IN FRONT OF A DOWNSPOUT, TIE TO THE NEXT ADJACENT LINE THAT CAN OUTLET TO THE CURB, UNLESS A DIRECT CATCH BASIN TIE IN IS INDICATED ON PLAN. PROVIDE ADAPTER PER SHEET C301. PROVIDE CONCRETE SPLASH BLOCKS FOR ALL DOWNSPOUTS SERVING PORCHES
- THE ABOVE DISTURBANCE IS UNDER THE DE-MINIMIS REQUIREMENTS FOR DETENTION OF CREATING 10,000 SQ.FT. OR LESS OF IMPERVIOUS AREA DISTURBANCE AND/OR NOT CREATING MORE THAN 2,000 SQ.FT. OF NEW, NET IMPERVIOUS AREA. HOWEVER, FOR ANY FUTURE DEVELOPMENTS ON THIS SITE, THE ABOVE DISTURBANCE WILL BE ADDED TO ANY NEW DISTURBANCE PROPOSED, AND HENCE ALL DEVELOPMENT WILL BE CUMULATIVE
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- IN BASE BID PROVIDE 100 SF OF FULL DEPTH PAVING IN ADDITION TO WHAT IS SHOWN IN PLANS TO BE USED ON SITE AT THE DIRECTION OF THE OWNER/ARCHITECT

**LEGEND**

- 1 1/2" ASPHALT MILL AND OVERLAY
- PROPOSED CONCRETE WALK
- FULL DEPTH ASPHALT REPLACEMENT



#	DATE	CHANGE DESCRIPTION

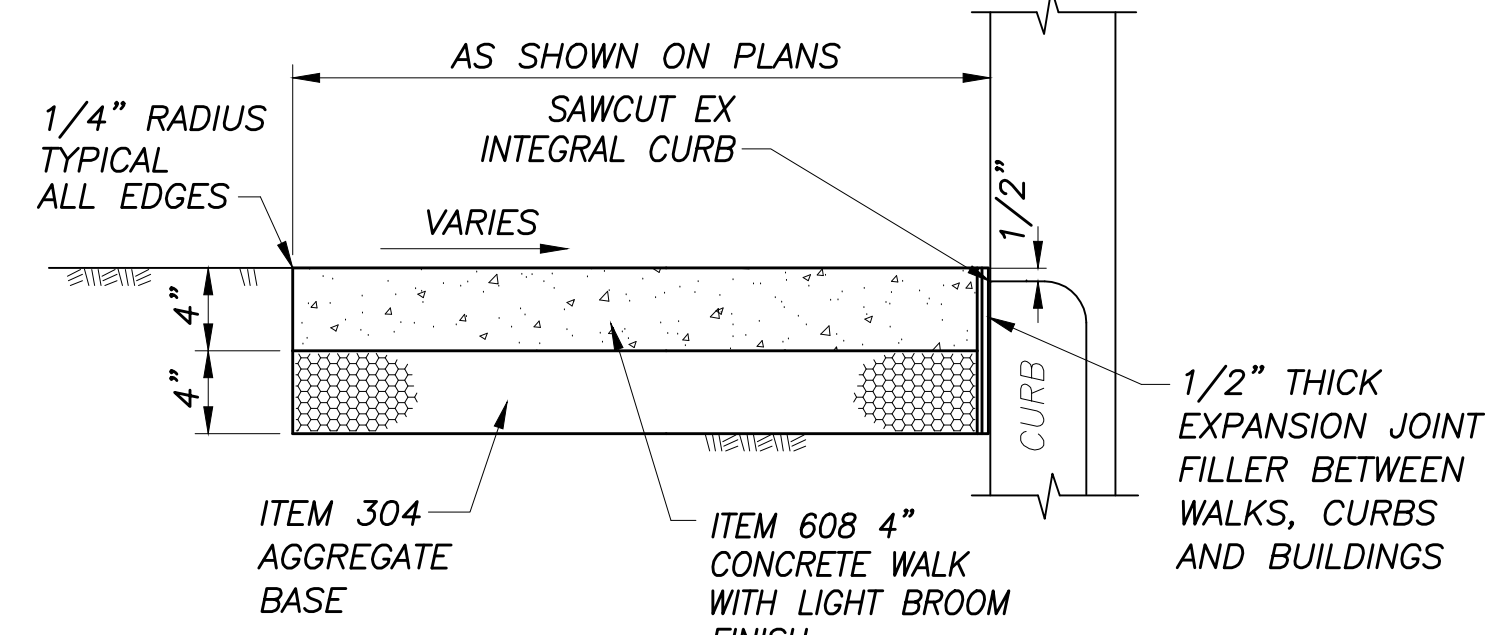
**THE MEADOWS RAD RENOVATIONS**  
 4855 PINTAIL CREEK DRIVE  
 COLUMBUS, OH 43115  
 FOR  
**COLUMBUS METROPOLITAN HOUSING AUTHORITY**

**Moody Nolan**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881  
 CERTIFICATE NO. FIRM 00197475

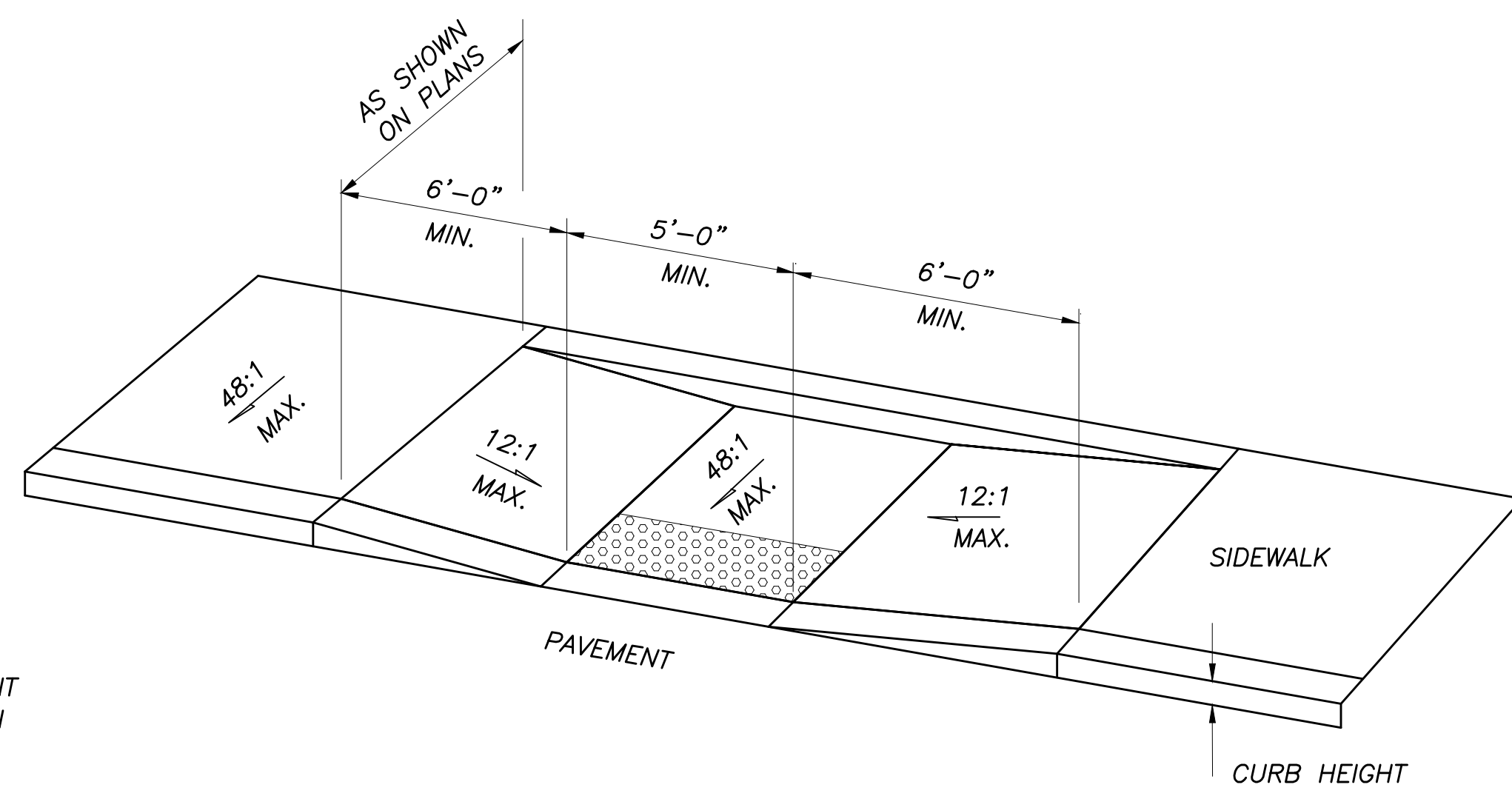
DRAWING TITLE:  
**FINAL SITE COMPLIANCE PLAN**

05/12/2026  
 DRAWN BY: XXXX CHECKED BY: MSL  
 18076.04  
**C102**  
 BID SET

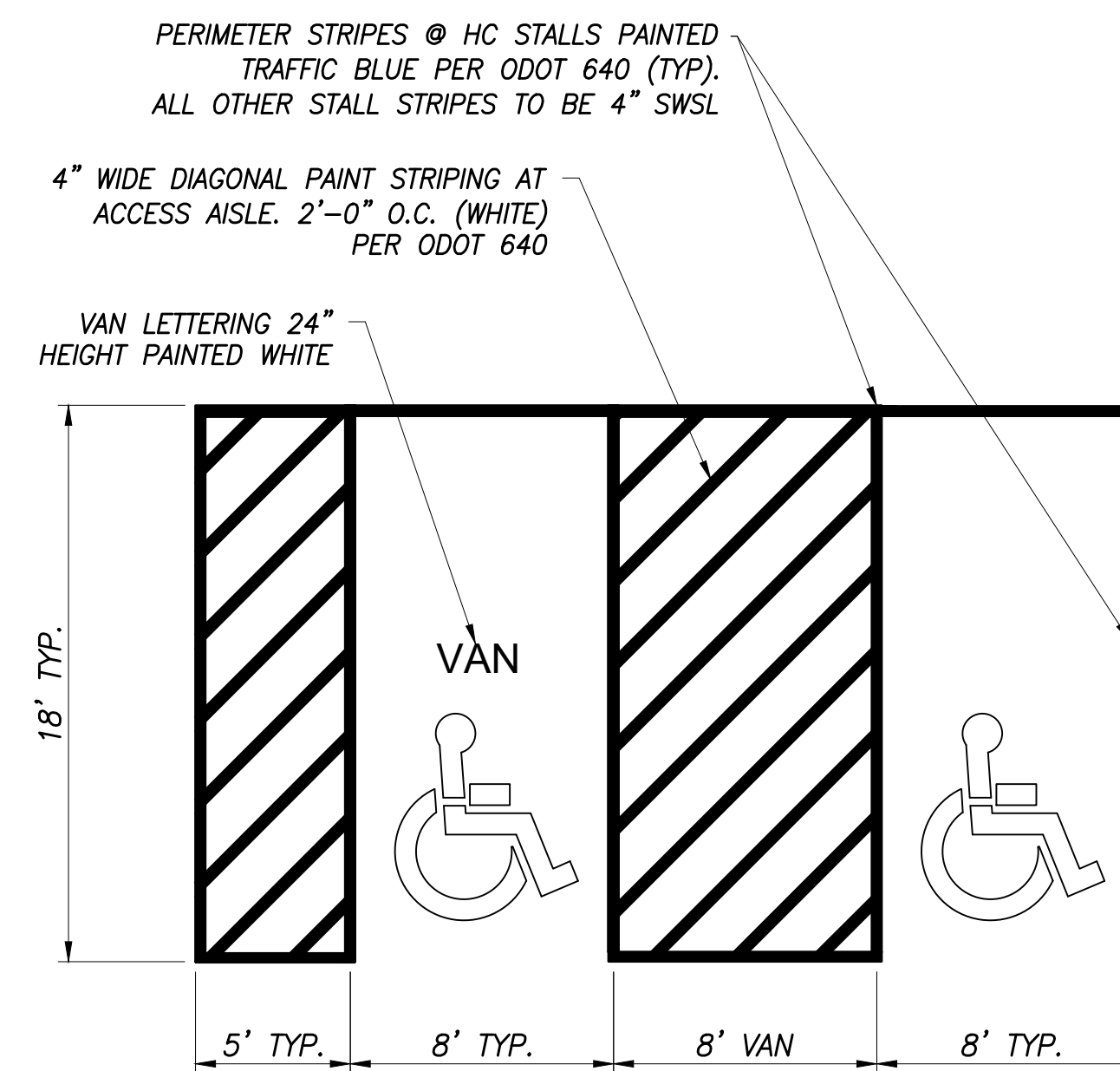
STATE OF OHIO  
 MARK LARRIMER  
 69331  
 REGISTERED PROFESSIONAL ENGINEER  
 Mark Larrimer



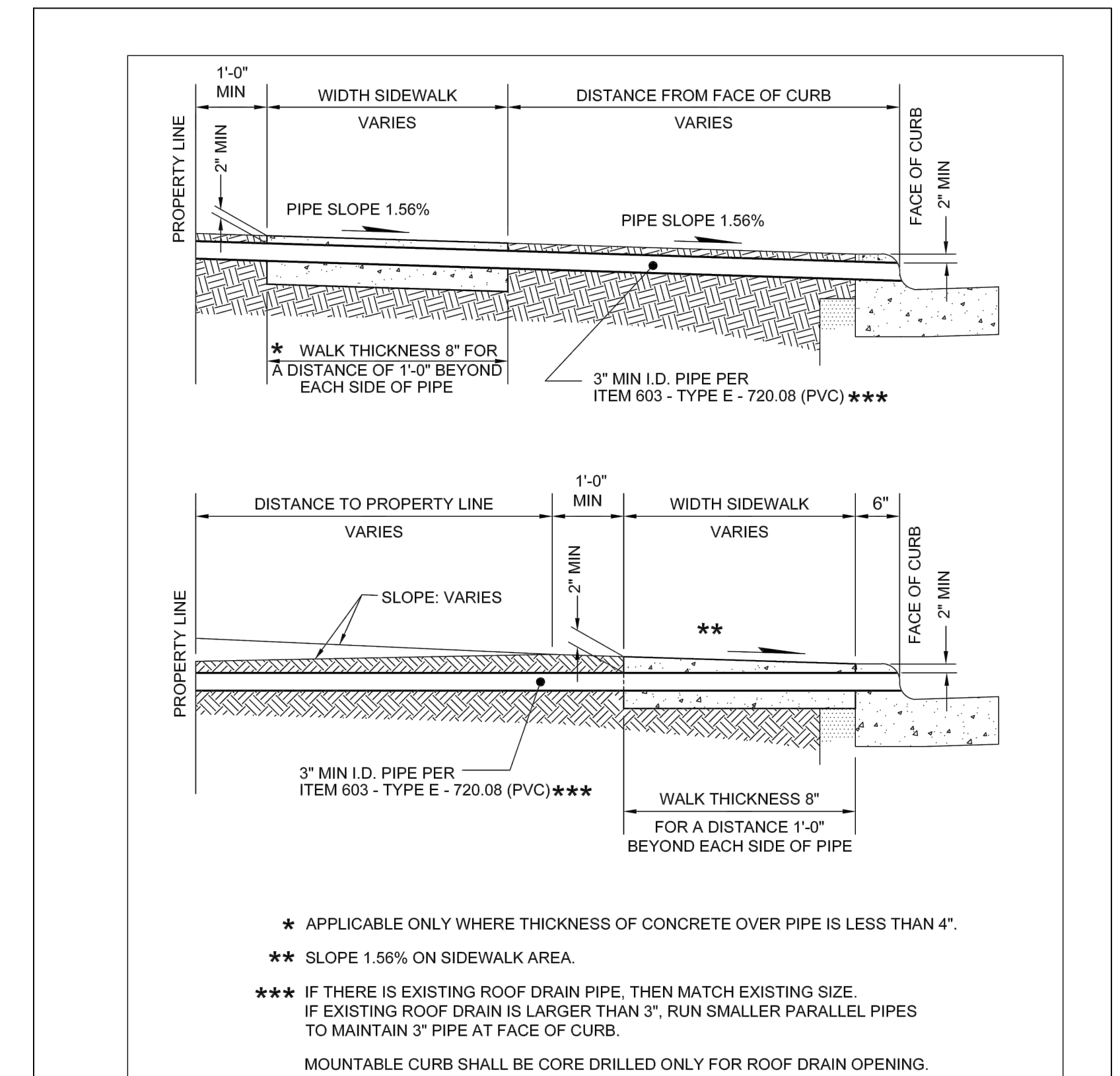
**CONCRETE WALKS**  
NO SCALE



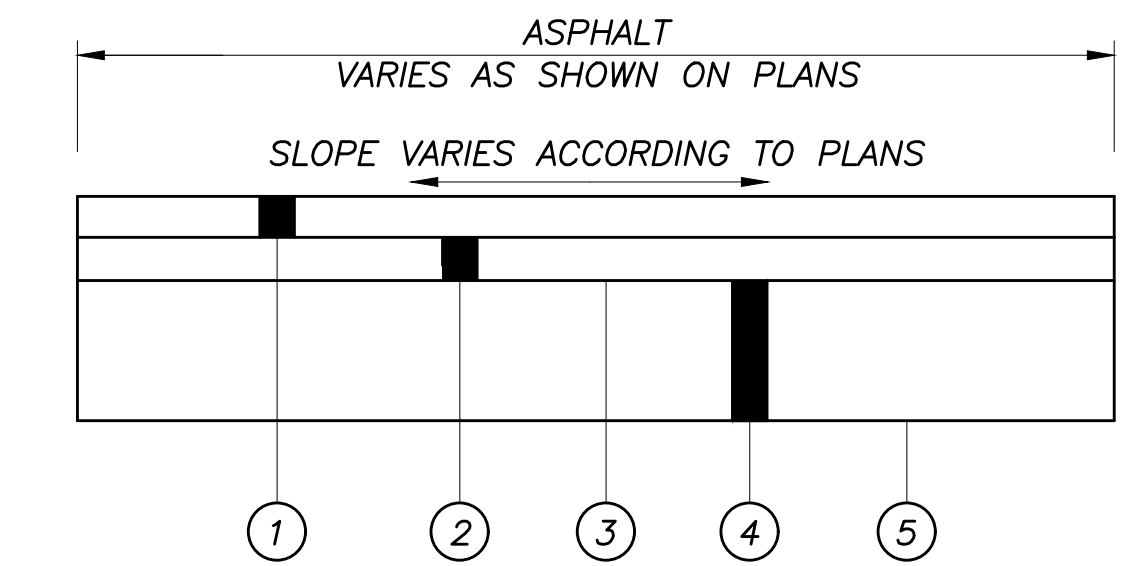
**HANDICAP RAMP**  
NO SCALE  
WITH DETECTABLE WARNING



**HANDICAP PARKING STALL STRIPING**  
NO SCALE



**ROOF LEADER**  
NO SCALE

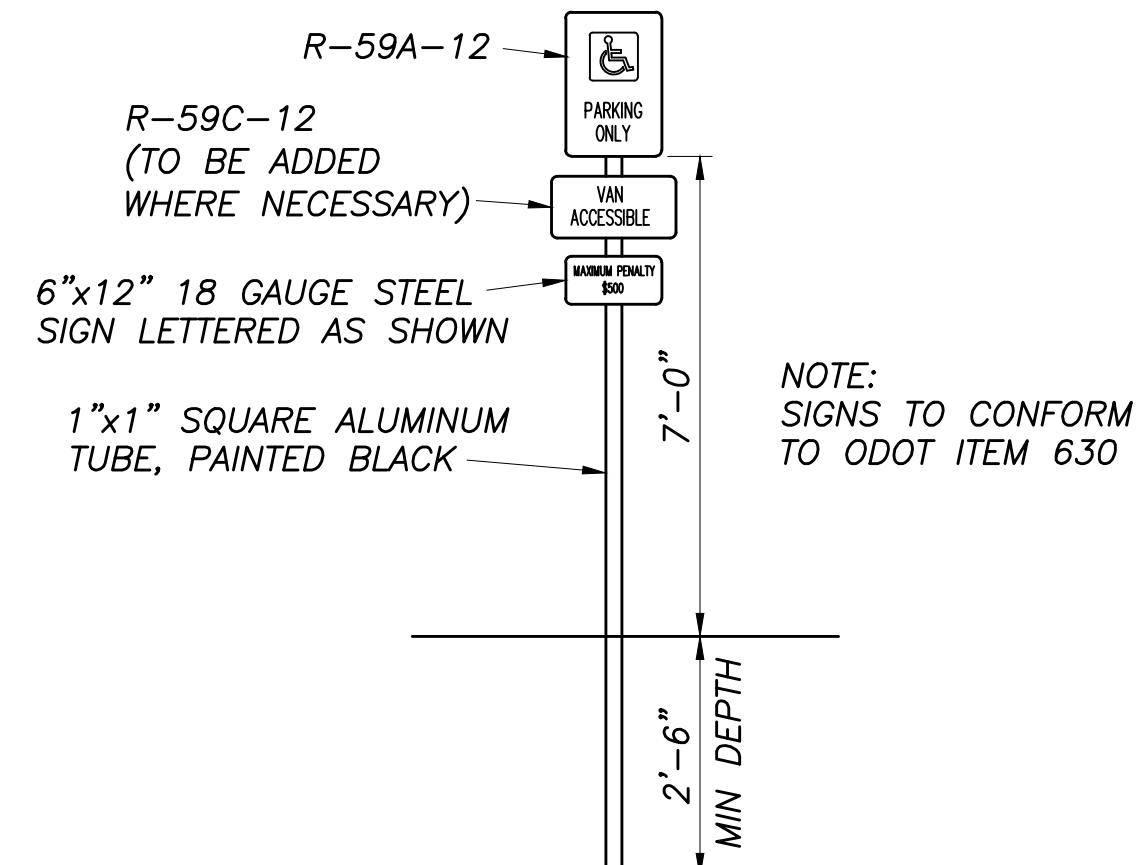


- ① ITEM 448 - 1 1/2" ASPHALT CONCRETE
- ② ITEM 448 - 2 1/2" ASPHALT CONCRETE
- ③ ITEM 408 - BITUMINOUS PRIME COAT
- ④ ITEM 304 - 6" AGGREGATE BASE
- ⑤ ITEM 204 - REDRESS AND RECOMPACT SUBGRADE

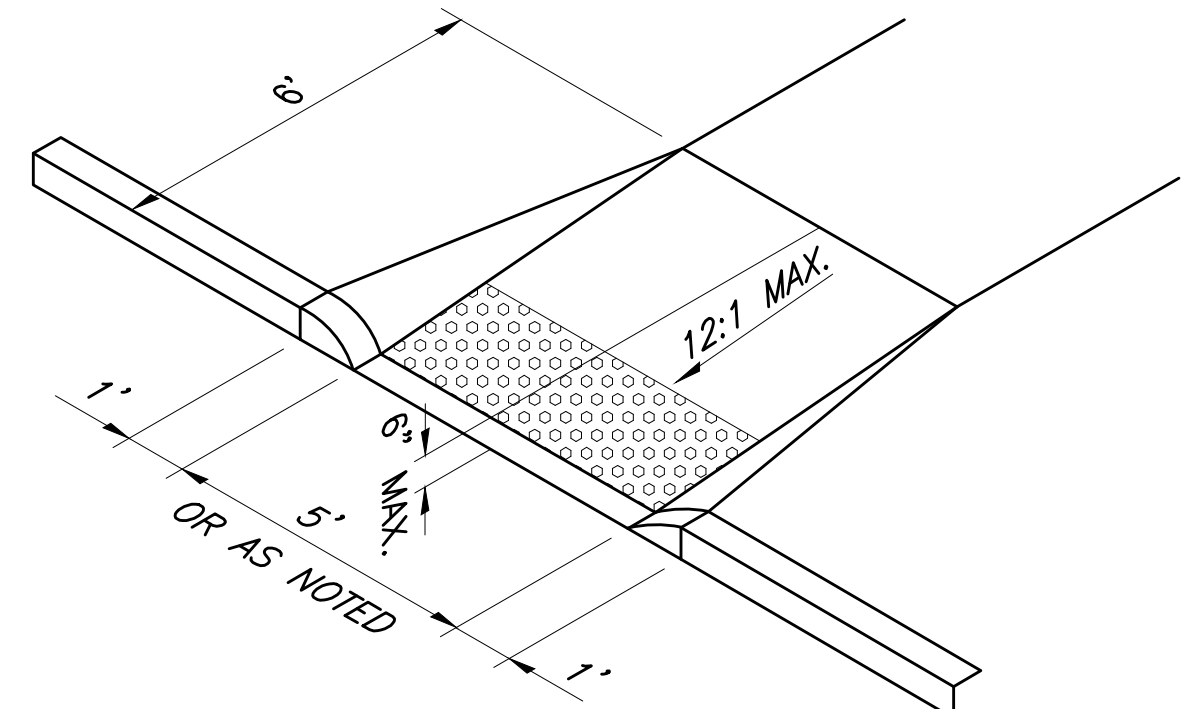
**ASPHALT PAVEMENT SECTION**  
NO SCALE

FIRE R.P.D.A. TO BE OS&Y VALVES ONLY.

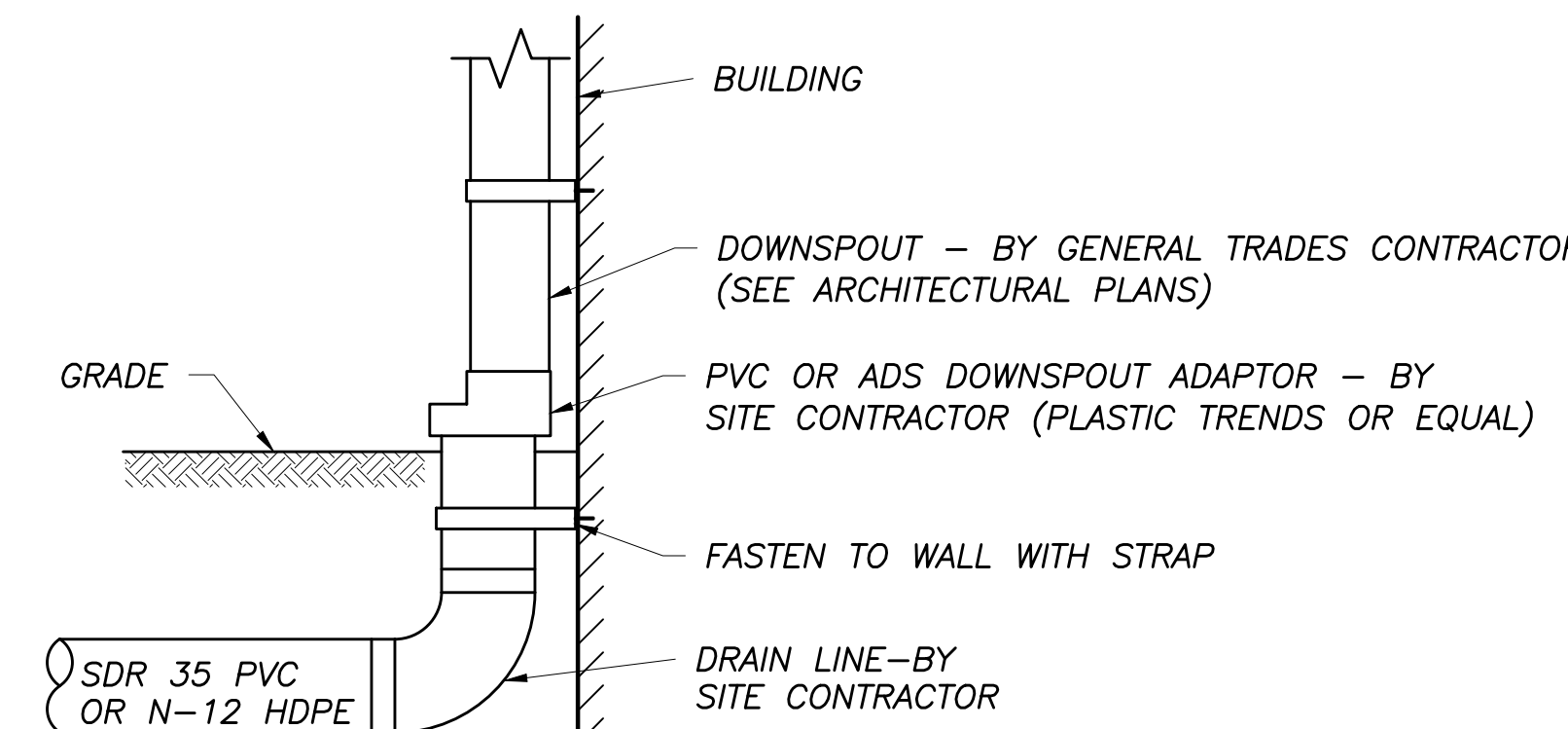
R.P.D.A. DETECTOR METER SHALL MEASURE IN CUBIC FEET AND MEET THE AWWA C-700 STANDARD AND BE EQUIPPED WITH ITRON 100W (TOWER) OR A 100R (REMOTE)



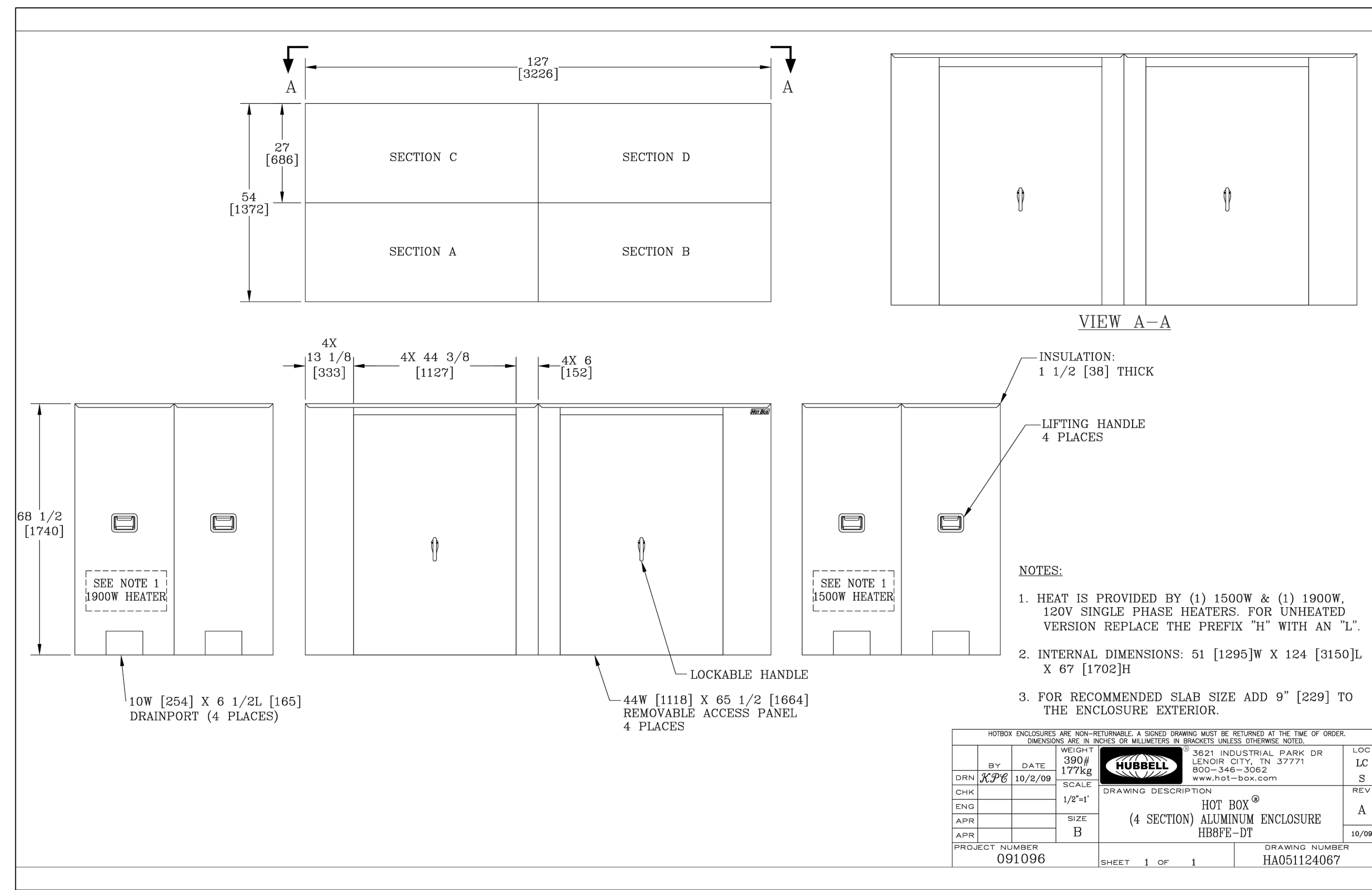
**HANDICAP PARKING SIGN**  
NO SCALE



**HANDICAP RAMP**  
NO SCALE  
WITH DETECTABLE WARNING



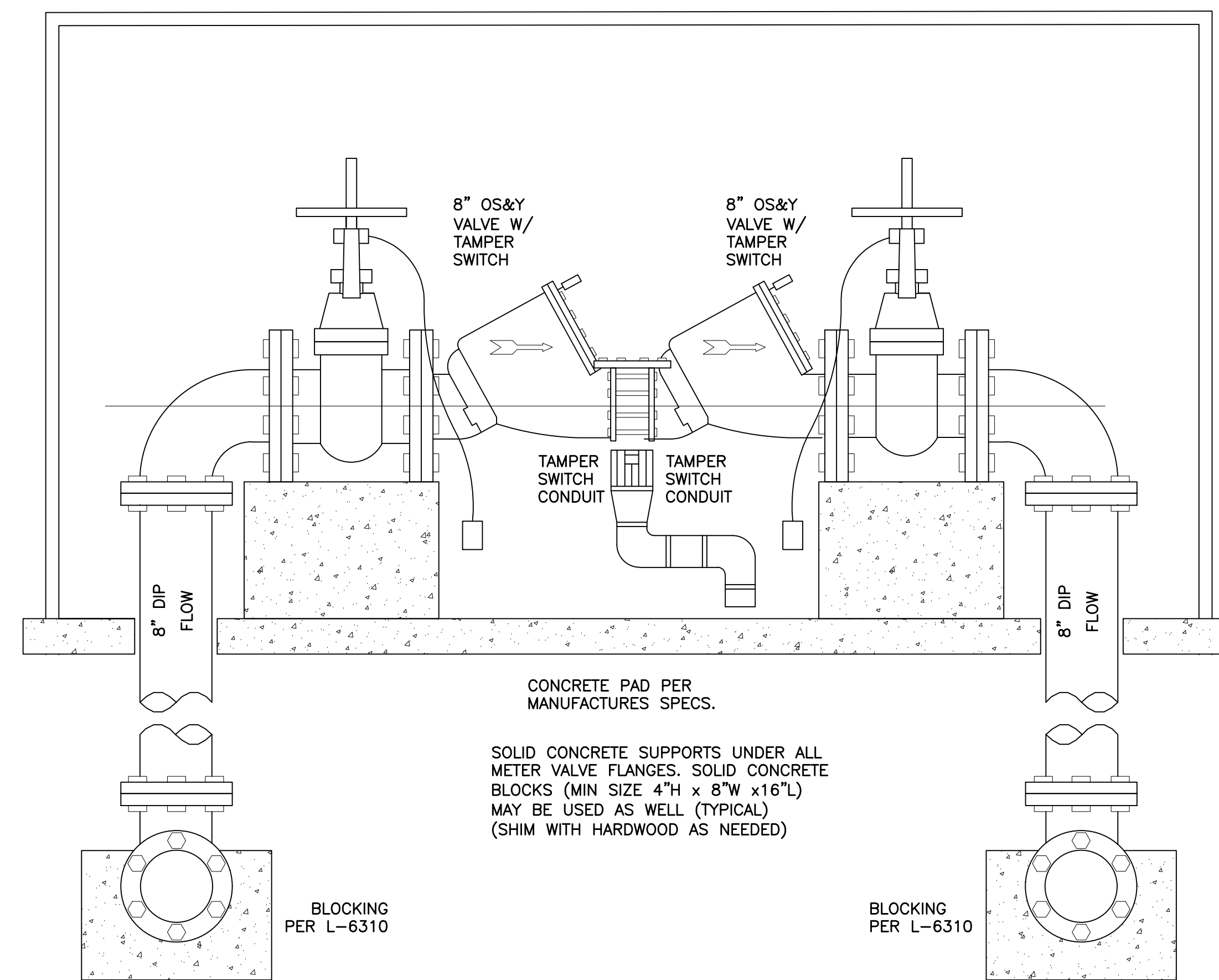
**DOWNSPOUT w/ ADAPTER CONNECTION**  
NO SCALE



NOTE: A CUSTOM DIMENSION HOT BOX WILL BE REQUIRED FOR INSTALLATION. DETAIL PROVIDED FOR GENERAL GUIDANCE ONLY.

FOR RECOMMENDED SLAB SIZE, ADD 24" TO THE EXTERIOR SIDES (WITH DOORS) AND 6" TO THE EXTERIOR SIDES (WITHOUT DOORS).

**ENCLOSURE DETAIL**  
NO SCALE



**8" HOT BOX WITH BACKFLOW PREVENTER**  
SCALE: 1"=1'

#	DATE	CHANGE DESCRIPTION

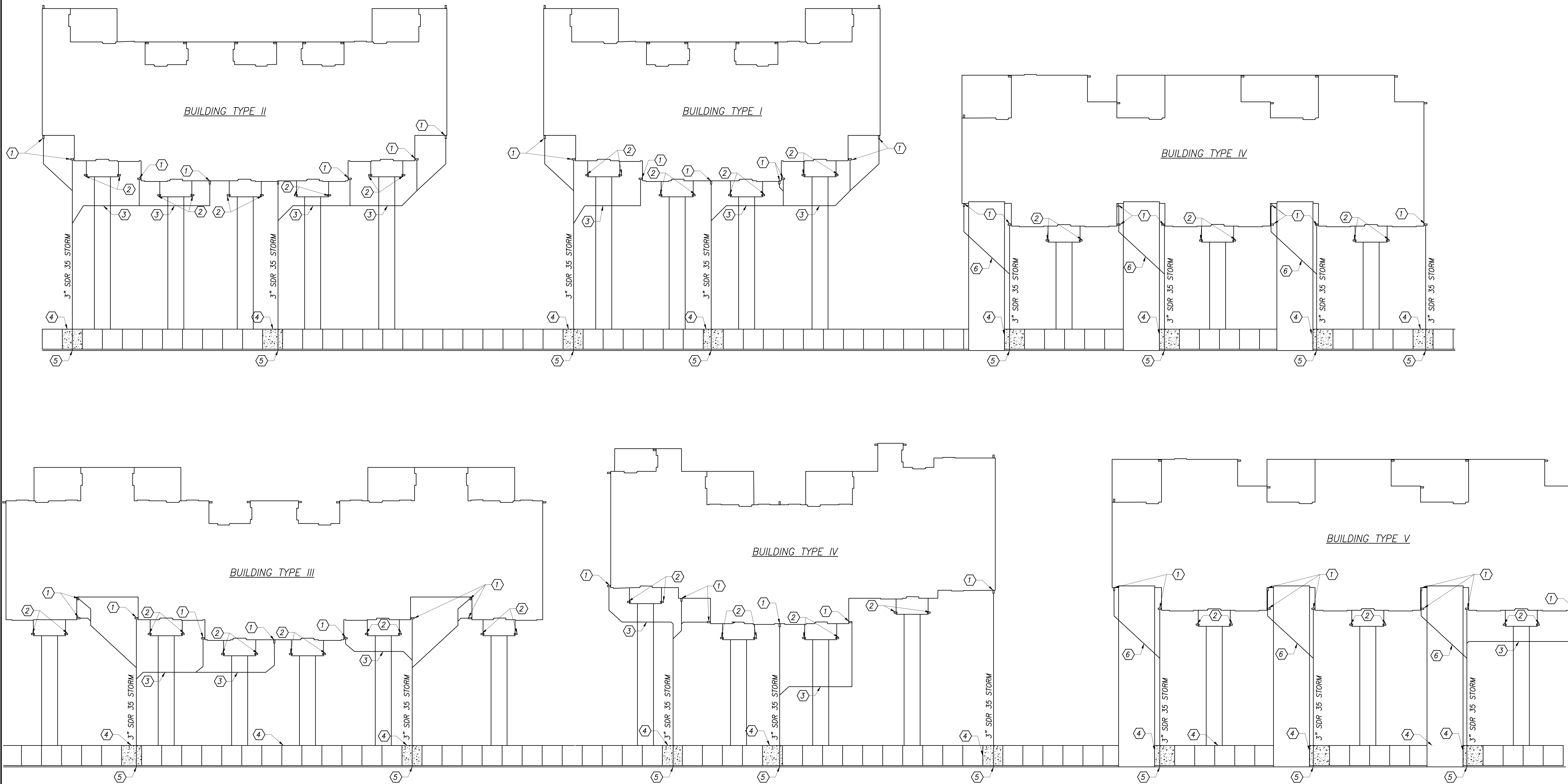
**THE MEADOWS RAD RENOVATIONS**  
4855 PONTIAC CREEK DRIVE  
COLUMBUS, OH 43110  
FOR  
**COLUMBUS METROPOLITAN HOUSING AUTHORITY**

**Moody Nolan**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881  
CERTIFICATE NO. FIRM 00197475

DRAWING TITLE: **DETAILS**

05/12/2026  
DRAWN BY: XXXX CHECKED BY: MSL  
18076.04  
**C301**  
BID SET

STATE OF OHIO  
MARK LARRIMER  
REGISTERED PROFESSIONAL ENGINEER  
No. 69331  
Mark Larrimer



ROOF LEADER SCHEMATIC  
(NOT TO SCALE)

**CODED NOTES:**

1. TIE TO GUTTER WITH BOOT
2. PROVIDE AND INSTALL CONCRETE SPLASH BLOCK
3. BORE UNDER EX WALK
4. REMOVE AND REPLACE SIDEWALK TO NEAREST JOINT OR BORE UNDER EXISTING WALK
5. CORE OPENING IN EXISTING CURB
6. PAVEMENT REPAIR IN DRIVEWAY

**NOTES:**

1. DOWNSPOUT CONNECTIVITY SHOWN IS SCHEMATIC. CONTRACTOR SHALL ADJUST AS REQUIRED TO AVOID EXISTING VEGETATION, HANDICAPPED RAMPS ETC. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH OWNER AND ARCHITECT

#	DATE	CHANGE DESCRIPTION

**THE MEADOWS RAD RENOVATIONS**  
4855 PINTAL CREEK DRIVE  
COLUMBUS, OH 43110  
FOR  
**COLUMBUS METROPOLITAN HOUSING AUTHORITY**

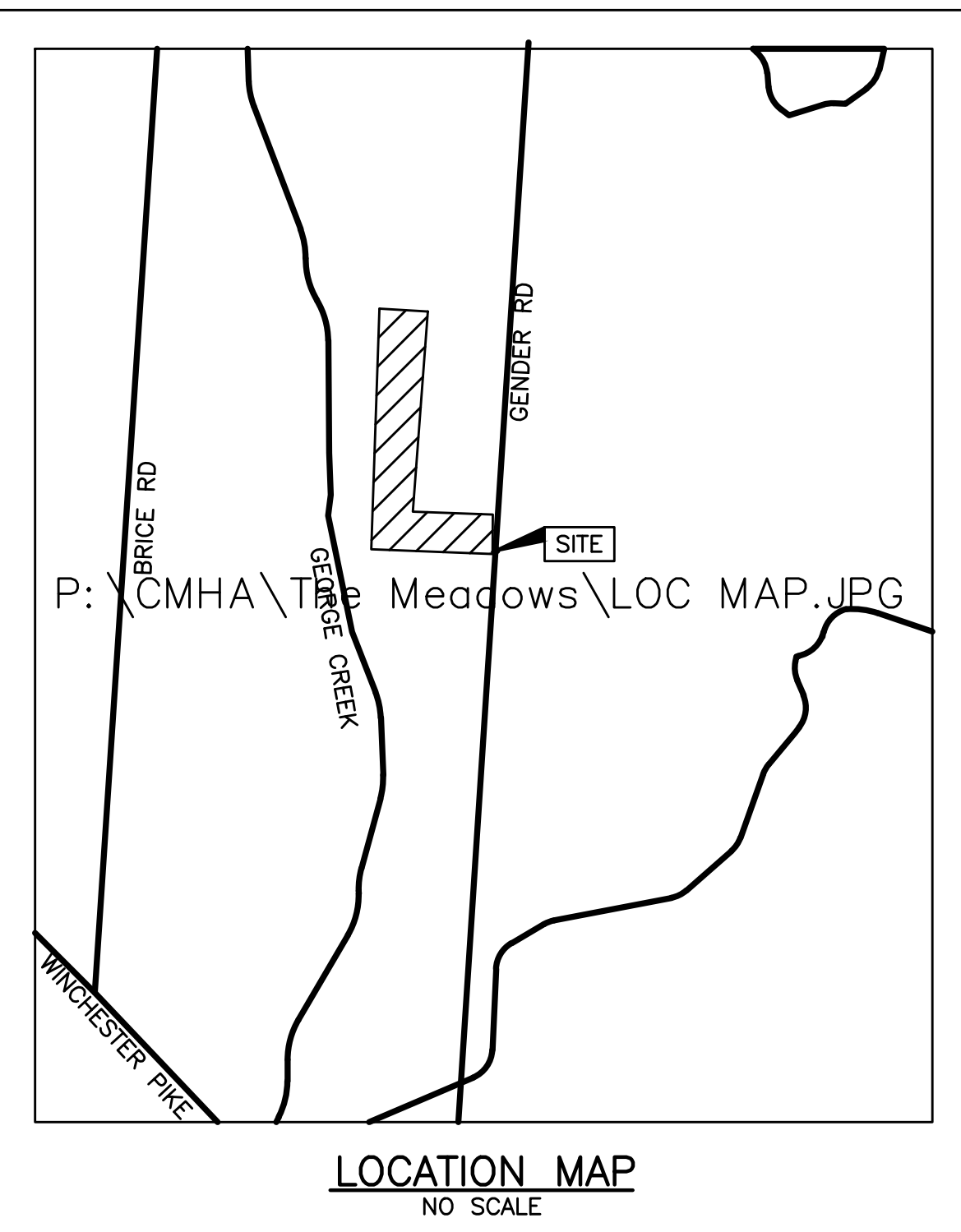
**Moody Nolan**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881  
CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:

**DETAILS**

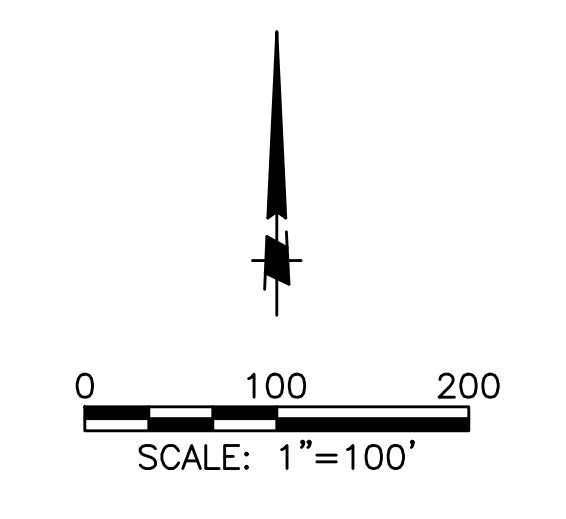
	05/12/2026
	DRAWN BY: XXXX CHECKED BY: MSL
	18076.04
	<b>C301</b>
Mark Larrimer	BID SET

P:\Projects\2021\0512\2021\_0512\WSP.dwg - Clerk Meadows WSP.dwg  
May 15, 2023, 8:52am



**CODED NOTES**  
 ① INSTALL NEW 8" BACKFLOW PREVENTER IN HEATED ENCLOSURE PER DETAILS ON SHEET 4.

- INSTALLATION SEQUENCE**
1. MAINTAIN EXISTING PRIVATE CWS WATER SERVICE AND METER WHILE INSTALLING NEW SERVICE PIPING, ABOVE GROUND ENCLOSURE AND BACKFLOW PREVENTER.
  2. INSTALL 8" COMBINED SERVICE LINE TO NEW ABOVE GROUND ENCLOSURE
  3. TURN OFF EXISTING PRIVATE SERVICE.
  4. CUT EXISTING PRIVATE SERVICE AND INSTALL 90 DEGREE HORIZONTAL BEND & TEE TO EXISTING PRIVATE SERVICE.
  5. REINSTATE PRIVATE WATER SERVICE.



EASEMENT REFERENCE			REVISIONS			PLAN PREPARED BY:	CITY OF COLUMBUS DIVISION OF WATER APPROVAL	PROJECT TITLE:	WSP P-2754
CITY NO.	COUNTY RECORDER	GRANTOR	NO.	DESCRIPTION	APPROVAL/DATE				
	YOL. PAGE					  Mark Larrimer REGISTERED ENGINEER 1/9/2023 DATE	SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.	WATER SERVICE PLAN COLUMBUS METROPOLITAN HOUSING AUTHORITY MEADOWS PINTAIL CREEK ROAD PARCEL ID # 490-237001 COLUMBUS, OHIO 43110	SHEET: 1/3

#	DATE	CHANGE DESCRIPTION

**THE MEADOWS RAD RENOVATIONS**  
 4855 PINTAIL CREEK DRIVE  
 COLUMBUS, OH 43110  
 FOR  
**COLUMBUS METROPOLITAN HOUSING AUTHORITY**

**Moody Nolan**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881  
 CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:

**WATER SERVICE PLAN**

 Mark Larrimer	05/12/2026
	DRAWN BY: XXX CHECKED BY: MSL
	18076.04

WSP 001

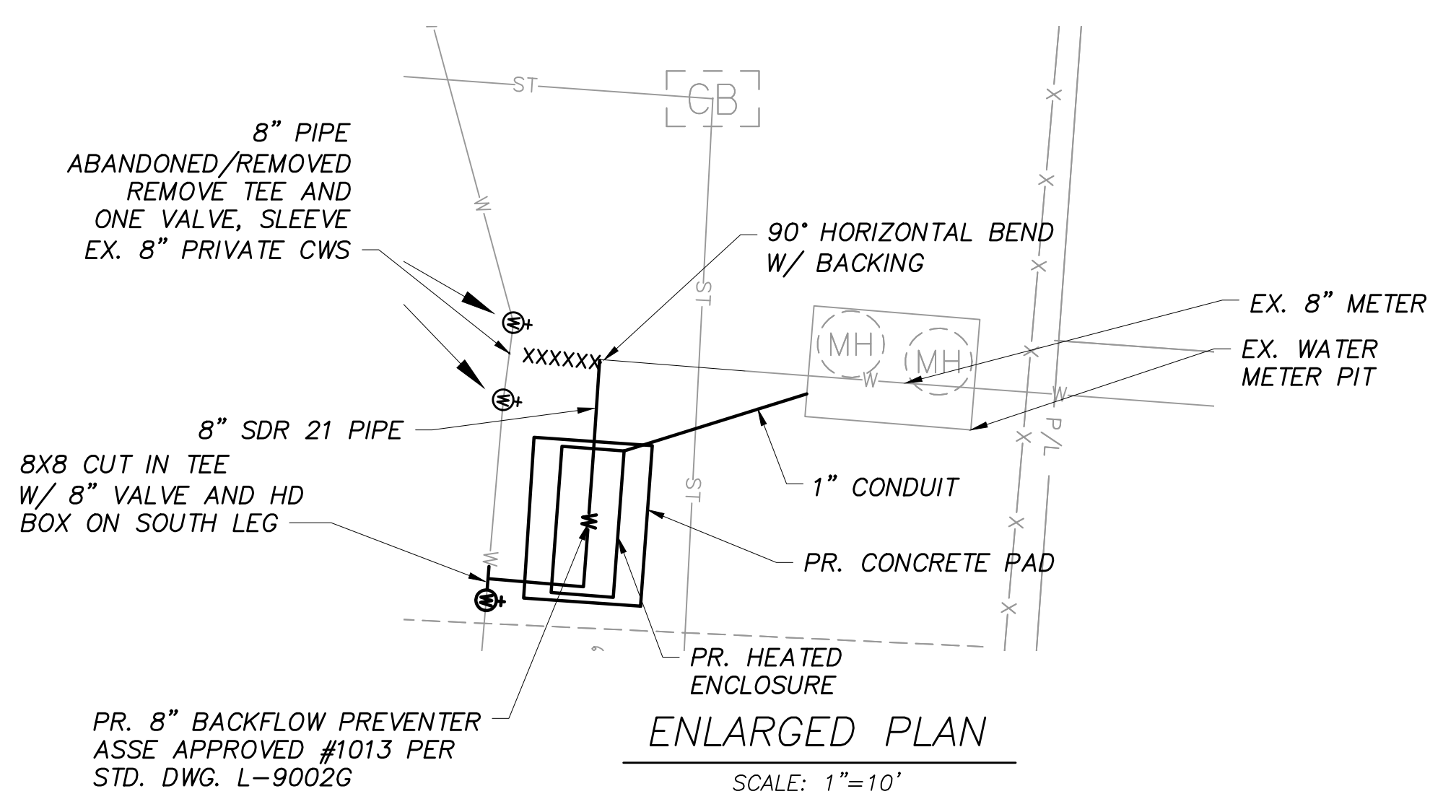
BID SET

**WATER SERVICE NOTES (SEPTEMBER 2024 EDITION)**

1. N/A
2. NO WATER SERVICE CONSTRUCTION, BEFORE OR AFTER THE WATER METER(S), SHALL BEGIN PRIOR TO FEE PAYMENT TO THE UTILITY PERMITS OFFICE AT 111 N. FRONT STREET (614-645-7330).
3. THE CITY OF COLUMBUS, CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMSC), 2018 EDITION AND ALL REVISIONS, INCLUDING SPECIAL PROVISIONS AND SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN THIS IMPROVEMENT, UNLESS OTHERWISE NOTED.
4. ALL WATER LINE MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT APPROVED MATERIALS LIST AND RULES AND REGULATIONS OF THE CITY OF COLUMBUS, DIVISION OF WATER, UNLESS OTHERWISE SHOWN ON THE PLANS OR APPROVED BY THE CITY OF COLUMBUS, DIVISION OF WATER. ONLY PRODUCTS LISTED ON THE CURRENT APPROVED MATERIALS LIST WILL BE PERMITTED TO BE INSTALLED.
5. IT SHALL BE UNLAWFUL FOR ANY PERSON TO PERFORM ANY WORK ON THE PUBLIC WATER DISTRIBUTION SYSTEM WITHOUT FIRST SECURING A LICENSE TO ENGAGE IN SUCH WORK, AS INDICATED IN COLUMBUS CITY CODE SECTIONS 1103.02 AND 1103.06. THIS WORK INCLUDES ANY ATTACHMENTS, ADDITIONS TO OR ALTERATIONS IN ANY CITY SERVICE PIPE OR APPURTENANCES (INCLUDING WATER SERVICE LINES AND WATER SERVICE TAPS). THIS REQUIREMENT MAY BE MET BY UTILIZATION OF A SUBCONTRACTOR WHO POSSESSES A CITY OF COLUMBUS WATER CONTRACTOR LICENSE OR A COMBINED WATER/SEWER CONTRACTOR LICENSE TO PERFORM THIS WORK. UTILIZATION OF A SUBCONTRACTOR MUST MEET THE LICENSING REQUIREMENTS OF CITY OF COLUMBUS BUILDING CODE SECTIONS 4114.119 AND 4114.529.
6. FOR ANY EMERGENCIES THAT OCCUR AFTER NORMAL WORKING HOURS INVOLVING THE WATER DISTRIBUTION SYSTEM, PLEASE CONTACT THE DIVISION OF WATER DISTRIBUTION MAINTENANCE OFFICE AT 614-645-7788.
7. SITE UTILITY CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO THE START OF ANY WATER SERVICE LINE AND/OR WATER SERVICE TAP INSTALLATION OR ANY PLACEMENT OF WATER SERVICE MATERIALS INTO THE PUBLIC RIGHT OF WAY.
8. EXISTING RIGHT OF WAY LINE(S), PROPOSED RIGHT OF WAY LINE(S) AND/OR WATER MAIN EASEMENT LINE(S) SHALL BE STAKED AT 10 FOOT INCREMENTS BY A STATE OF OHIO LICENSED SURVEYOR WHEN THE WATER SERVICE TAP(S) AND/OR WATER SERVICE(S) ARE INSTALLED AND INSPECTED BY THE CITY OF COLUMBUS, DIVISION OF WATER.
9. SITE UTILITY CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF COLUMBUS—CITY FORESTER AT 614-645-6640 FOR ANY WORK DONE WITHIN 10 FEET OF A TREE IN THE RIGHT OF WAY.
10. THERE SHALL BE A 10 FOOT MINIMUM HORIZONTAL AND 18 INCH VERTICAL SEPARATION BETWEEN WATER SERVICE TAP(S), WATER SERVICE LINE(S), PRIVATE WATER SYSTEMS AND ANY SANITARY AND/OR STORM SEWER SYSTEMS, UNLESS OTHERWISE APPROVED BY THE CITY OF COLUMBUS, DIVISION OF WATER.
11. ALL INSPECTIONS REQUIRE A 24 HOUR ADVANCE NOTICE.
12. N/A
13. N/A
14. SITE UTILITY CONTRACTOR SHALL FLUSH ALL WATER SERVICES PRIOR TO ANY WATER METER INSTALLATION. THE CITY OF COLUMBUS IS NOT RESPONSIBLE FOR ANY CITY WATER METER DAMAGE CAUSED BY NON-FLUSHING.
15. N/A
16. N/A
17. N/A
18. N/A
19. N/A
20. N/A
21. N/A
22. SITE UTILITY CONTRACTOR SHALL CALL COLUMBUS DIVISION OF WATER AT 614-645-7330 FOR INSPECTION AND HYDROSTATIC TEST OF 4" AND LARGER WATER SERVICE TAPS FROM THE WATER MAIN THRU THE CONTROL VALVE AND WATER SERVICES FROM THE CONTROL VALVE THRU THE WATER METER SETTING. HYDROSTATIC TEST SHALL BE PER CMSC ITEM 805.08 AND SHALL BE PERFORMED FROM THE WATER MAIN THRU THE WATER METER SETTING.
23. ALL 4" THRU 12" WATER SERVICE PIPE SHALL BE ONLY DUCTILE IRON FROM THE CITY WATER MAIN THRU THE CITY WATER METER SETTING(S) INCLUDING THE METER BYPASS.
24. N/A
25. N/A
26. N/A
27. N/A
28. N/A
29. BACKFLOW PREVENTION ASSEMBLY(S) SHALL BE INSTALLED, WHERE REQUIRED, PER COLUMBUS DIVISION OF WATER STANDARD DETAIL DRAWINGS L-9002 A THRU G. CONTRACTOR(S) SHALL CALL 614-645-6674 WITH BACKFLOW PREVENTION QUESTIONS. CONTRACTOR(S) SHALL CALL 614-645-8119 TO SCHEDULE BACKFLOW PREVENTION INSPECTION REQUESTS.
30. N/A
31. COMBINATION WATER SERVICE BACKFLOW PREVENTER(S) SHALL MEET THE ASSE #1013 APPROVAL/STANDARD.
32. N/A
33. N/A
34. N/A
35. A 1" I.D. CONDUIT WITH 1 DRAWSTRING PER WATER METER SHALL BE PROVIDED BY THE SITE UTILITY CONTRACTOR FROM THE WATER METER VAULT TO THE HEATED ENCLOSURE. CONDUIT SHALL EXTEND 6" INTO THE METER VAULT AND BE CLEAR OF ALL ACCESS PORTALS. CONDUIT SHALL BE CORE DRILLED AND EXTEND 24" UP ABOVE THE CONCRETE SLAB FOR THE HEATED ENCLOSURE ALONG THE HEATER WALL. CONDUIT SHALL HAVE A MINIMUM BURY OF 24" FROM THE VAULT TO THE HEATED ENCLOSURE. CONDUIT SHALL BE FOR THE REMOTE WIRES ONLY. ANY OTHER WIRING SHALL HAVE A SEPARATE CONDUIT.
36. IF DOMESTIC AND/OR FIRE WATER SERVICE METER(S) AND/OR THEIR BACKFLOW PREVENTER(S) ARE TO BE LOCATED INSIDE AN ABOVE GROUND HEATED ENCLOSURE, THE ENCLOSURE SHALL BE ASSE #1060 CLASS 1 APPROVED. THE ENCLOSURE SHALL HAVE A THERMOSTATICALLY OPERATED HEATER. THE SIZE AND NUMBER OF HEATER(S) SHALL BE PER THE ENCLOSURE MANUFACTURER'S SPECS TO MAINTAIN A 40 DEGREE FAHRENHEIT INSIDE TEMPERATURE AT AN OUTSIDE TEMPERATURE OF MINUS 30 DEGREE FAHRENHEIT. HEAT TAPE/RODS WILL NOT BE PERMITTED.
37. BACKFLOW PREVENTION DEVICES MUST BE TESTED AT THE TIME OF INSTALLATION BY A TESTER APPROVED BY THE DIVISION OF WATER BACKFLOW COMPLIANCE OFFICE. A COMPLETE LIST OF APPROVED TESTERS CAN BE FOUND AT [WWW.COLUMBUS.GOV/BACKFLOW/CONSUMERS](http://WWW.COLUMBUS.GOV/BACKFLOW/CONSUMERS). RESULTS MUST BE SUBMITTED THROUGH THE ONLINE WEB SUBMITTAL SYSTEM AT <https://core.columbus.gov/tokflow/>.

**UNDERGROUND PRIVATE WATER SYSTEM(S) AFTER THE CITY WATER METER(S)**

FOR COLUMBUS CITY ONLY: THE DEPARTMENT OF BUILDING AND ZONING (PLUMBING INSPECTION SECTION) IS RESPONSIBLE FOR INSPECTION OF UNDERGROUND PRIVATE DOMESTIC AND/OR FIRE WATER SYSTEM(S) AFTER THE CITY WATER METER(S). TO SCHEDULE, SITE UTILITY CONTRACTOR SHALL PURCHASE A WATER SERVICE RECORD THROUGH <https://portal.columbus.gov/Permits/Default.aspx>. CONTACT [PLUMBINGINFO@COLUMBUS.GOV](mailto:PLUMBINGINFO@COLUMBUS.GOV) FOR MORE DETAILS.



CONTRACTOR SHALL PREPARE NEW HEATED ENCLOSURE WITH BACK FLOW PREVENTER, DO ALL TESTS AND DO TIE IN WITH ONE SHUTDOWN (SHOULD NOT BE MORE THAN 4 HOURS) AND COMPLETE. SHUT DOWN PERIOD IS TO BE COORDINATED WITH OWNER AT LEAST TWO WEEKS IN ADVANCE.

THE METER VAULT SHALL BE CORE DRILLED FOR A 1" I/D METER READING CONDUIT, WILL BE BURIED AT A MIN. OF 24" IN DEPTH AND SHALL BE LOCATED INSIDE THE DOMESTIC WATER SERVICE ENCLOSURE (IN A CORNER) AT LEAST 24" ABOVE THE CONCRETE ENCLOSURE SLAB.

REVISIONS: 05/12/2026, CHINA Meadows Rad Renovations, WSP-018, May 15, 2025, B.C.M.N.

EASEMENT REFERENCE			REVISIONS			PLAN PREPARED BY:	PROJECT TITLE:
CITY NO.	COUNTY RECORDER VOL. PAGE	GRANTOR	NO.	DESCRIPTION	APPROVAL/DATE		
						<p>300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM</p>	<p>WATER SERVICE PLAN COLUMBUS METROPOLITAN HOUSING AUTHORITY MEADOWS PINTAL CREEK ROAD PARCEL ID # 490-237001 COLUMBUS, OHIO 43110</p>

#	DATE	CHANGE DESCRIPTION

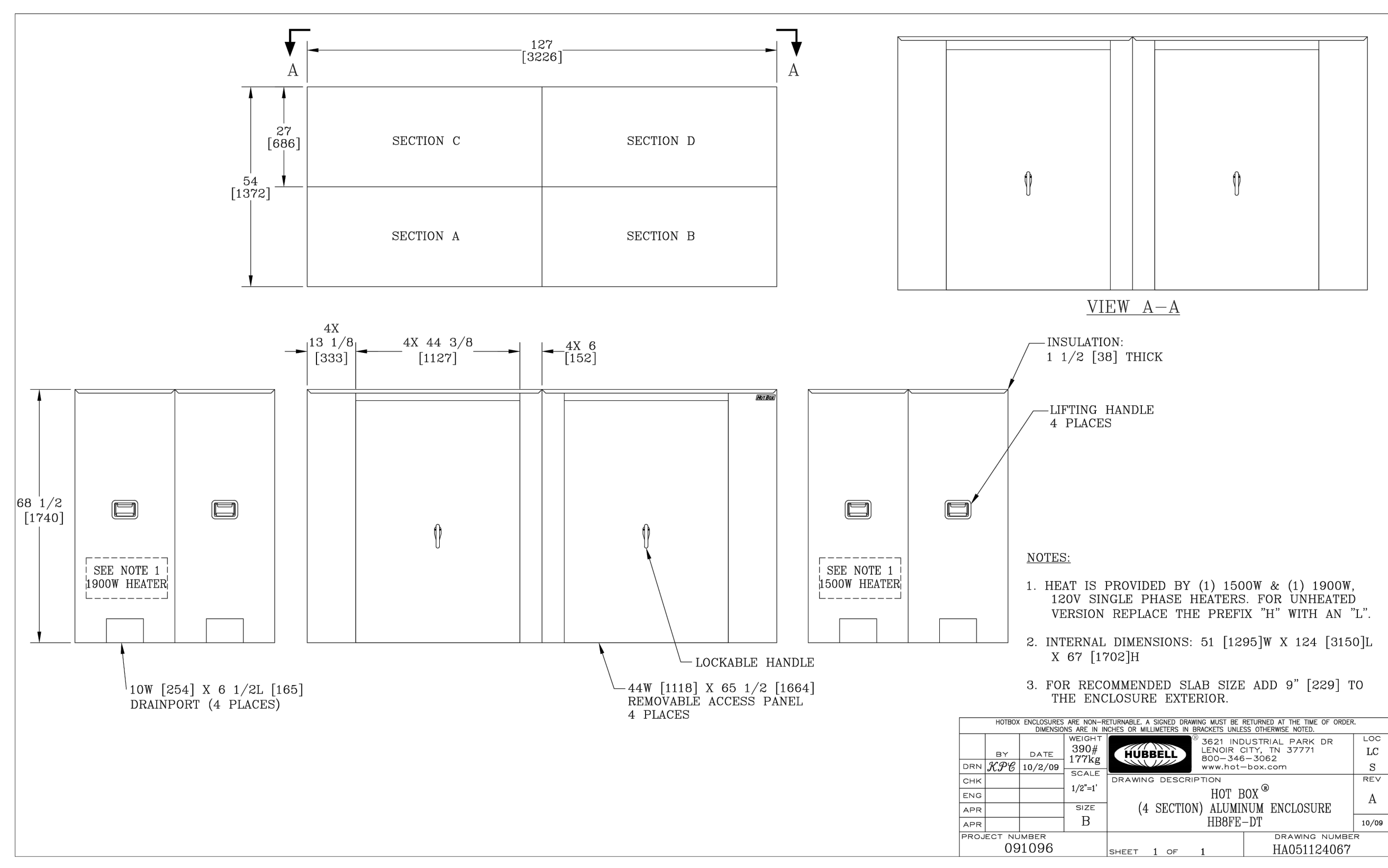
**THE MEADOWS RAD RENOVATIONS**  
4855 PINTAL CREEK DRIVE  
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FOR  
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PHONE: (614) 461-4664  
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CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:  
**WATER SERVICE PLAN**

05/12/2026  
DRAWN BY: XXXX CHECKED BY: MSL  
18076.04  
**WSP 002**  
BID SET

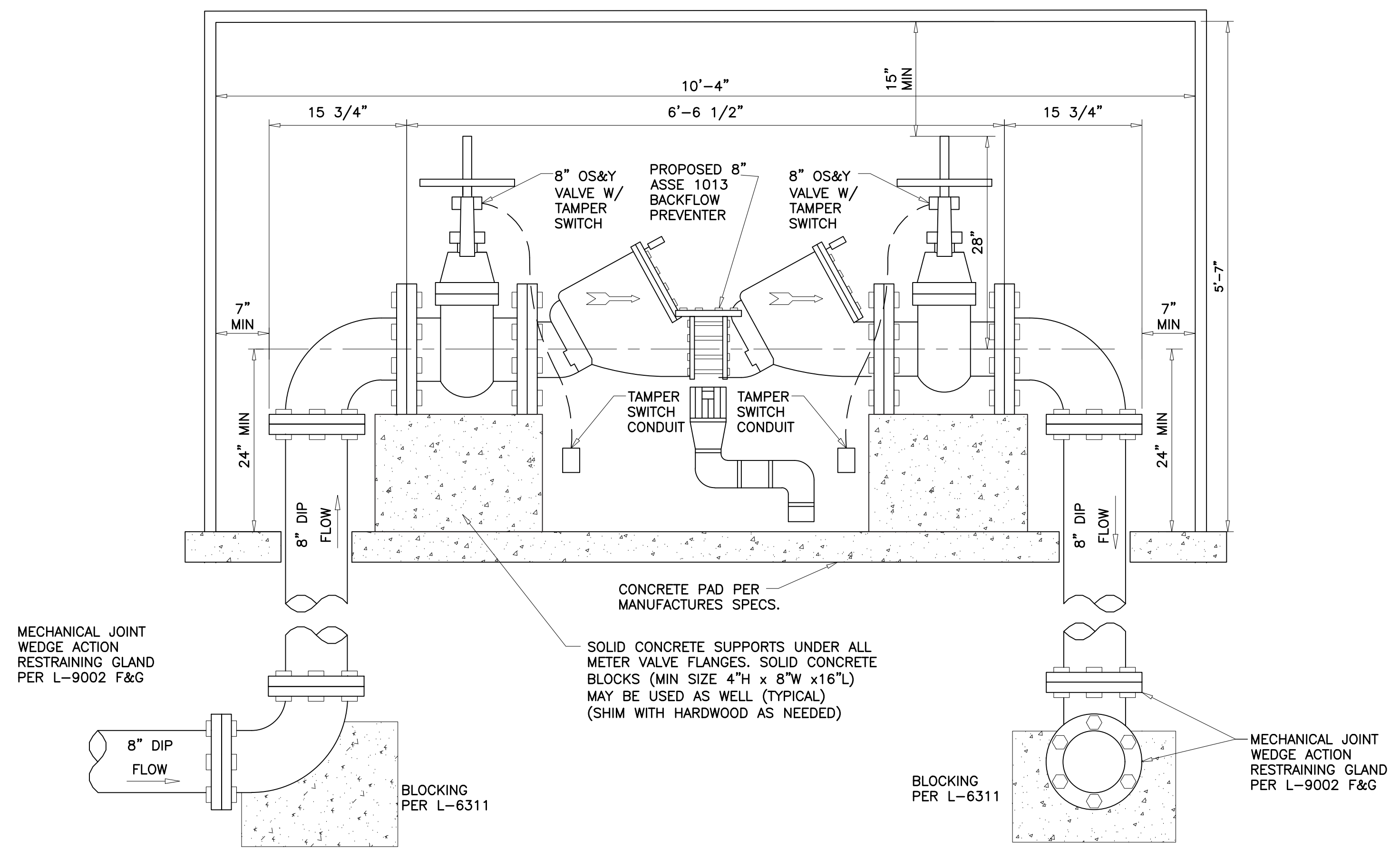
Mark Larrimer



NOTE:  
A CUSTOM DIMENSION HEATED ENCLOSURE WILL BE REQUIRED FOR INSTALLATION. DETAIL PROVIDED FOR GENERAL GUIDANCE ONLY.

FOR RECOMMENDED SLAB SIZE, ADD 24" TO THE EXTERIOR SIDES (WITH DOORS) AND 6" TO THE EXTERIOR SIDES (WITHOUT DOORS).

**ENCLOSURE DETAIL**  
NO SCALE



**HEATED ENCLOSURE WITH 8" BACKFLOW PREVENTER**  
SCALE: 1"=1"

HUBBELL: 315.14627 CHIA Meadows\CDM\WSP\18076 - Check Meadows WSP.dwg  
 May 15, 2026, 8:51:07am

EASEMENT REFERENCE			REVISIONS			PLAN PREPARED BY:	PROJECT TITLE:	SHEET: 3/3
CITY NO.	COUNTY RECORDER	GRANTOR	NO.	DESCRIPTION	APPROVAL/DATE			
	VOL. PAGE					<p>300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM</p>	<p>WATER SERVICE PLAN COLUMBUS METROPOLITAN HOUSING AUTHORITY MEADOWS PINTAL CREEK ROAD PARCEL ID # 490-237001 COLUMBUS, OHIO 43110</p>	<p>WSP P-2754</p>

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18076.04
WSP 003
BID SET

Mark Larrimer